

10/20/2020

**NOTICE OF DENIAL**

Charles McCrary  
McCrary Group, LLC  
Detroit, MI

**RE: Application Number 20-6867; 858 Edison Street, Boston – Edison Historic District**

Dear Mr. McCrary,

At the regularly scheduled meeting held virtually on October 14, 2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 21-2-80 of the 2019 Detroit City Code, the Commission hereby issues a **Notice of Denial** which is effective as of October 20, 2020. The Commission finds that the proposed work *does not* qualify for a Certificate of Appropriateness for the following reasons:

The proposed rear addition and all associated work at the rear elevation, as proposed in the attached application, does not meet the defined elements of design for the historic district nor the Secretary of the Interior’s Standards for Rehabilitation, especially 2) *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;* 5) *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved;* 9) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment;* and 10) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

You may file a new application for consideration if the application is corrected, if new information is obtained regarding the application, or if the proposed scope of work changes. Please be advised that a permit applicant that is aggrieved by a decision of the Detroit Historic District Commission concerning a permit application may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

Brian D. Conway  
State Historic Preservation Officer  
Michigan Historical Center  
717 W. Allegan Street  
Lansing, Michigan 48918-1800

Once this administrative right of appeal has been exhausted, a permit applicant may file an appeal of the decision of the State Historic Preservation Review Board with the circuit court. If you have any questions regarding the foregoing, please contact Taylor Leonard, Counsel for the Commission at (313) 237-3006.

For the Commission:



Ann Phillips  
Staff  
Detroit Historic District Commission

10/20/2020

**CERTIFICATE OF APPROPRIATENESS**

Charles McCrary  
McCrary Group, LLC  
Detroit, MI

**RE: Application Number 20-6867; 858 Edison Street, Boston – Edison Historic District**

Dear Mr. McCrary,

At the regularly scheduled meeting held virtually on October 14, 2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of October 20, 2020.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior’s Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

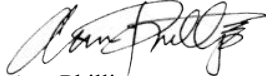
- **Remove and replace the existing asphalt shingle roof with a new asphalt shingle roof**
- **Remove and replace existing gutters and downspouts**
- **Restore the (3) three living room windows on the first floor of the front façade**
- **Repair and restore the concrete deck and steps at the front porch**

**With the following conditions:**

- The replacement asphalt shingles and gutters and downspouts must match existing or complement the existing house, subject to staff approval.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Ann Phillips  
Staff

Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Date: \_\_\_\_\_

## PROPERTY INFORMATION

ADDRESS: \_\_\_\_\_ AKA: \_\_\_\_\_

HISTORIC DISTRICT: \_\_\_\_\_

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner

Contractor

Tenant or  
Business Occupant

Architect/Engineer/  
Consultant

NAME: \_\_\_\_\_ COMPANY NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.

See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**



Monday, September 28, 2020

## Narrative

Our finding concludes that this residence is need of major repairs do the lack maintenance over time This is a great historic neighborhood located at 858 Edison Street, Detroit MI 48206 is in severe deferred maintenance for a building that was constructed approximately 100 years ago. Many of the replace elements i.e. siding, window, and doors are anachronistic to the original residence. We are proposing with this submittal to restore this residence to its original character in nature and allowing it to support a current single-family dwelling.

This report identifies (3) main area as follows:

### Description of Existing Exterior Conditions:

- a. The **stucco** plaster is a primary exterior material used above the modular face brick belt coursing typically on all sides of the home at the base of the residence. (See Stucco Specs attachment.)
- b. Exterior painted 7” **wood siding** with lapped joints exist on the second level and above – this material is in fair condition. Replace vinyl siding is utilized on the rear to the home that was added by the previous owners.
- c. The residence has a combination of original existing wood and few replacement **windows** utilizing other materials not original to the home. The first floor windows are scheduled for a full restoration back to its original state. (See Pella attachment.)
- d. There are (3) exterior **door** on the first floor, none of which appears to original. (See Pella attachment.)
- e. Exterior painted wood **trim** exists as a transition between the stucco and the wood sidings, also used typically around all doors and all windows.
- f. The concrete **front porch** and steps are in severe deferred maintenance – we proposed these conditions to be restored.

### Description of Project Scope of Work:

- a. The primary work scope is proposed for a second and third level addition above the first level, that will extent 15’-0” beyond the existing north façade.
- b. The main portions of the exterior wall on the original first floor level will remain on the south, east, and west facades as unaffected.

### Product Specifications:

- a. Provide a standard three-coat portland cement **stucco** plaster with a cement or an acrylic finish coat on wood stud framing.
- b. **Door and windows** are specified to be as manufactured by Pella Windows.
- c. Hardie **siding** manufacturer type “Straight Edge Panel”. (See Hardie attachment.)
- d. Owner recommended exterior **color** preferences: Match currently colors on the existing home. (See Benjamin Moore Classic Colors attachment – color match.)
- e. Architect request HDC to advise on recommended colors for the **roofing** material, gutters and downspouts.

In conclusion this new development proposal is overwhelmingly positive, we the addition and the changes to this remarkable dwelling in an historic community.



Please feel free to contact me personally you request additional information or clarification.

Sincerely,

*Charles McCrary*

Charles McCrary/President  
McCrary Group LLC.  
Architects, Engineers, Planners  
[Charles@mccrarygroup.com](mailto:Charles@mccrarygroup.com)  
313.333.4031

Friday, September 11, 2020 at 4:44pm

Email from: Brendan Cagney [cagneyb@detroitmi.gov](mailto:cagneyb@detroitmi.gov)

Charles,

after a quick look, we will need more information for your application...

-Detailed scope of work should include, specifically everything you want approval for. List all windows you are proposing to replace, what you are proposing to replace them with. Same goes for doors, anything being repaired.... Is anything being demolished or removed? List that here as well.

**Reply: Provide a proposed list of all windows and doors included in this scope of the work.**

-Can vinyl siding be replaced with wood? Address in application....

**Reply: No vinyl siding will be utilized on this project.**

-The elevation drawings are probably the most important for the Commission to review. It is not clear if this is existing elevations or proposed elevations with new addition. Both would be helpful for full understanding of proposal.

**Reply: The extent of existing and/or proposed addition is shown on the floor plans and elevations.**

- Detail these to show all materials, dimensions, modifications, etc.

**Reply: All materials and dimensions are shown on plans, elevations, and details.**

-The AutoCAD print setting in bright colors do not make reading the blueprints very easy, I would recommend unless these are rendered to show existing or proposed colors, that you submit these in black and white.

**Reply: This drawing package is submitted in black and white as requested.**

-See attached windows doc for all required information on window replacement. Detailed photos showing disrepair, as well as assessment of deterioration for all windows as well as an estimate for repair is required to replace windows. Finally, we will need a detailed drawing that shows how the existing windows compare with the proposed windows.

**Reply: This submittal is providing front window restoration for the Living Room. The remaining windows in front of the house will remain as is. We are proposing new windows in the new construction and new addition only.**

# COLOR SYSTEM E

## ASSOCIATED ARCHITECTURAL STYLES: (14) PRAIRIE, (15) BUNGALOW

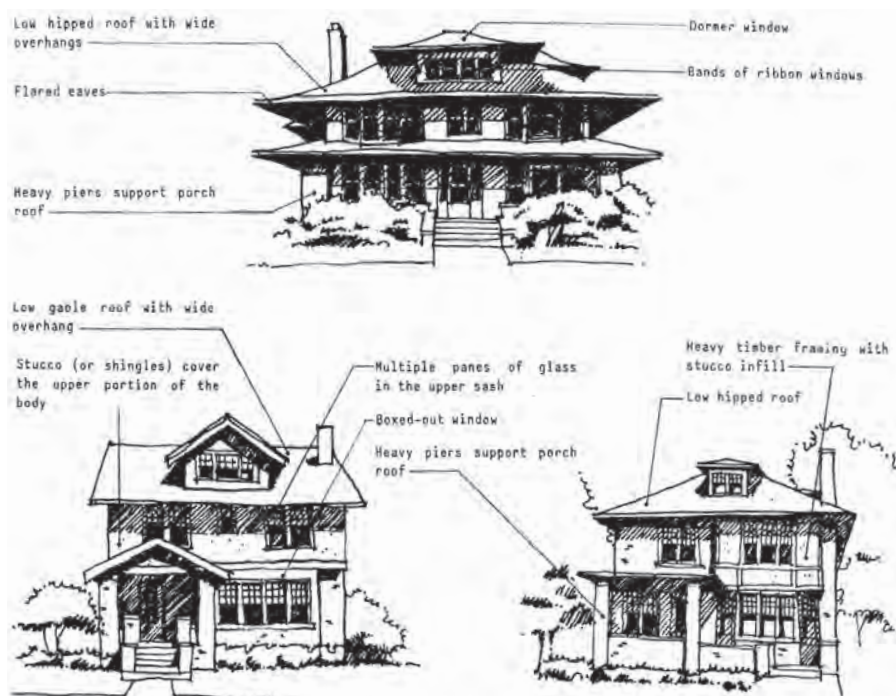
The Prairie School houses with their Neo-Georgian and Chicago School Vernacular spin-offs and the ubiquitous Bungalow Style, all more or less partake of the same color theory as the post-1900 English Revival houses. Both the Prairie School and the Bungalow houses, however, followed a trend toward the lighter colors introduced later in the century. If the owner wished to follow Color System D, he would certainly be historically correct in so doing, however, both Prairie and Bungalow Style houses permit a wider range of choice.

Those Neo-Georgian Vernacular houses that are touched by the Prairie Style (low hip roofs with side overhanging eaves, ribbon windows, a change of materials from the first to the second floors) should not be painted with the Colonial color palette as their name might suggest. Just as the Prairie details might have been grafted onto what is essentially a 4-square box, so the colors of the Prairie Style should be used.

Stucco houses of these styles might be painted in grays, yellows, browns, or when used only for the second floor which is stuccoed above a first floor of another material, one of two oranges. However, stark white was rarely used for Prairie or Bungalow (or for that matter Arts and Crafts) houses.

The heavy timber framing and shingles occasionally used on Prairie or Bungalow Style houses should be painted or stained a dark color to give what one early twentieth-century manufacturer called "the weathered idea of the old bungalow which gained its beauty largely by leaving the unprotected lumber to be exposed to the weather."

It is in the choice of trim colors that there is the greatest freedom, for the use of whites, grays, soft greens, browns, and yellows are all acceptable. Keeping in mind the need to provide color contrast between the trim and any shingles or stucco and half-timbering, (the stucco color should also be different than the half-timbering), grays, yellows, browns, greens and oranges would be appropriate trim colors. For houses of this type, one Detroit manufacturer suggested that "green is by far the most popular color for shutters, though in many instances they are painted to correspond to the body or trimmings of the house." Sash is "usually painted black, white, ivy green or deep rich colors such as copper browns.... If desired, one of the same shades may be used that is employed for the body of the house."



# COLOR SYSTEM E

## ACCEPTABLE COLOR COMBINATIONS \*MS = MUNSELL STANDARD

BODY	TRIM	SASH	SHUTTERS
Stucco/Siding: Any system E color <b>EXCEPT</b> A:7, A:8, A:9, B:19 Use E:2 & E:3 on second floor only above another material	Any System E color to contrast body color	Match trim color or match body color or A:9, B:18, B:19	Match trim color, match body color, or A:8
Shingles/Heavy Timber: Stained or painted A:9, B:1, B:2, B:5, B:6, B:7, B:8, B:11, B:12, B:13, B:14, B:18	Any System E color to contrast body color	Match trim color or match body color or A:9, B:18, B:19	Match trim color, match body color, or A:8
Existing brick or stone			

Windows and Wood Trim

 <b>A:1 Yellowish Gray</b> MS: 2.5Y 8/2	 <b>A:2 Light Olive Gray</b> MS: 10Y 6/1	 <b>A:3 Light Yellow</b> MS: 5Y 8/6	 <b>A:4 Pale Yellow</b> MS: 2.5Y 8.5/4	 <b>A:5 Grayish Yellow</b> MS: 2.5Y 7/4	 <b>A:8 Blackish Green</b> MS: 2.5BG 2/2
 <b>A:9 Moderate Reddish Brown</b> MS: 7.5R 3/6	 <b>B:1 Light Yellowish Brown</b> MS: 10YR 6/4	 <b>B:2 Dark Yellow</b> MS: 5Y 6/6	 <b>B:3 Light Yellow</b> MS: 2.5Y 8/6	 <b>B:4 Moderate Yellow</b> MS: 2.5Y 7/6	 <b>B:5 Light Brown</b> MS: 7.5YR 5/4
 <b>B:6 Moderate Brown</b> MS: 7.5YR 4/4	 <b>B:7 Moderate Yellowish Brown</b> MS: 10YR 5/4	 <b>B:8 Grayish Brown</b> MS: 5YR 3/2	 <b>B:11 Grayish Olive Green</b> MS: 5GY 4/2	 <b>B:12 Grayish Green</b> MS: 10G 4/2	 <b>B:13 Moderate Olive Brown</b>
 <b>B:14 Dark Grayish Olive</b> MS: 10Y 2/2	 <b>B:15 Dark Grayish Yellow</b> MS: 5Y 6/4	 <b>B:17 Light Olive</b> MS: 10Y 5/4	 <b>B:18 Dark Reddish Brown</b> MS: 2.5YR 2/4	 <b>B:19 Black</b> MS: N 0.5/	 <b>C:4 Yellowish White</b> MS: 5Y 9/1
 <b>C:5 Yellowish White</b> MS: 2.5Y 9/2	 <b>D:1 Brownish Pink</b> MS: 7.5YR 7/2	 <b>D:2 Light Brown</b> MS: 5YR 6/4	 <b>E:1 Light Grayish Yellowish Brown</b> MS: 10YR 6/2	 <b>E:2 Strong Yellowish Brown</b> MS: 7.5YR 6/8	 <b>E:3 Grayish Reddish Orange</b> MS: 2.5YR 5/6
 <b>E:4 Grayish Yellow Green</b> MS: 7.5GY 6/2					

**FIND OUT MORE!**  
[www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc)



## New Pella Wood Windows Cost Schedule

Size	Type	Window Sizes		Sq. In.	Pre-discount Unit Cost	Total Quantities	Total Cost
		Width	Height				
1	Double Hung	24	45	1080	\$650.00	2	\$1,300.00
2	Double Hung	24	55	1320	\$875.00	7	\$6,125.00
3	Double Hung	28	45	1260	\$775.00	7	\$5,425.00
4	Double Hung	28	55	1540	\$895.00	21	\$18,795.00
5	Casement	18	65	1170	\$725.00	4	\$2,900.00
6	Casement	30	65	1950	\$1,100.00	2	\$2,200.00
7	Fix	30	65	1950	\$805.00	2	\$1,610.00
8	Fix	42	65	2730	\$910.00	1	\$910.00
						<b>46</b>	<b>\$39,265.00</b>

## Restore Living Room Existing Windows Cost Schedule

Size	Type	Window Sizes		Sq. In.	Pre-discount Unit Cost	Total Quantities	Total Cost
		Width	Height				
1	Fix	24	65	1560	\$725.00	2	\$1,450.00
2	Fix	48	65	3120	\$1,100.00	1	\$1,100.00
						<b>3</b>	<b>\$2,550.00</b>

**SCOPE OF THE WORK:**

ADDRESS: 858 EDISON  
BOSTON EDISON APPLICANT  
CHARLES MCCRARY, MCCRARY GROUP, DESIGNER

PROPOSAL The English Revival house at 858 Edison was constructed approximately in the 1920s. The applicant proposes renovations to the house as follows:

**Front/South Elevation**

- The front elevation will remain unchanged. The front unchanged elements include all windows, the front entry door, the existing plaster stucco, the wood siding, and existing roof scope/profile.
- The asphalt shingle, gutters and downspout will be replaced to match the rear addition – character and style of these materials will not change.

**Sides/East and West Elevations**

- The removal of portions on east elevation is planned for the proposed addition. On the east side elevation on the first floor the (2) existing windows on either side of the brick chimney will remain unchanged.
- On the east elevation the second floor existing window on street side of the brick chimney will remain unchanged.
- On the west side elevation on the first floor the (4) existing windows near the street will remain unchanged.
- The total addition to the home is proposed for a 12'-3" addition to the rear of the home.
- The proposed addition is planned to replace the non-original element that was poorly constructed subsequently to this historic structure on the east and west elevation.

**Rear/North Elevation**

- The rear elevation is planned to provide 2 exit doors (2-30x80 and 36x80) to the back porch and rear walk-off deck.
- The 24" inch red brick apron and the base on the home will be provided on both east and west sides and the rear of the home to match for color and texture of the existing.
- The finish exterior façade materials is planned to be the same as the plaster stucco and siding materials matching the color and texture of the existing.

**Roof/Gutters/Downspouts**

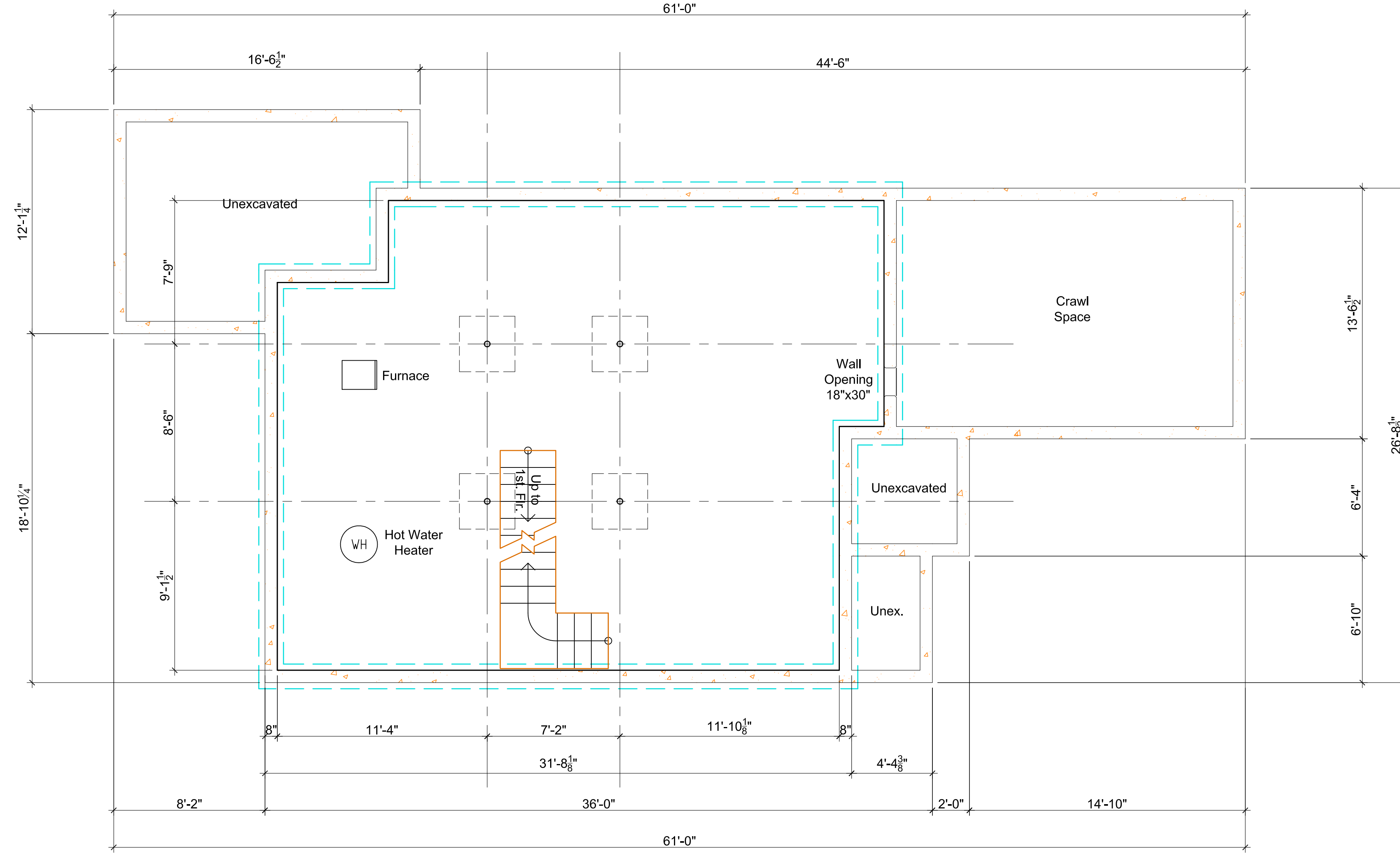
- The new proposed roof will tie into the existing 7/12 roof slope; utilizing 2"x8" roof rafters 16"o.c. (see sheet A5-01 Building Details). The existing roof slope/profile at entry enclosure will remain unchanged. The existing 36'-0" x 26'-0" dimension at front of the home will remain unchanged. The intent for the front/south elevation is that there will be no apparent change appearance wise from the street view.

**ELEMENTS OF DESIGN**

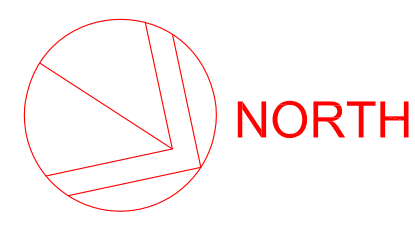
*Proportion of openings within the facade.* Window openings are always subdivided. The most common window type is double-hung with sashes that are generally subdivided by muntins in non-insulated glazing. The facades have approximately fifteen percent (15%) of their area glazed. Sun porches with a very high proportion of window openings subdivided by mullions and muntins are common.

*Rhythm of spacing of buildings on streets.* The spacing of the buildings is generally determined by the setback from side lot lines. There is a variance in the widths of subdivision lots from one block to another. The lots generally range from forty (40) feet to seventy-five. The typical spacing is ten (10) feet to fifteen (15) feet from side lot lines.

*Relationship of colors.* Natural brick colors (such as red, yellow, brown, buff) predominate in wall surfaces. Natural colors also exist. Roofs are in natural colors asphalt shingles are predominantly within this same dark color range. Paint colors often relate to style. Buildings of medieval inspiration (notably neotudor) generally have painted woodwork and window frames of cream color.

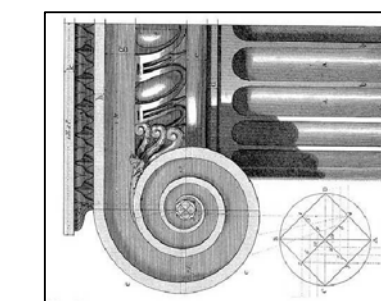


- Demolition Key Notes:**
- Existing window to remain – restore, re-gaze, paint and re-caulk as required.
  - Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
  - New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
  - Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
  - New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
  - Remove existing exterior wall construction down to existing foundation.
  - Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
  - Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
  - Existing door to remain.
- General Key Notes:**
- New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
  - New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
  - Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
  - New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
  - Provide horizontal blocking in walls to receive upper wall cabinets.
  - New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.



## EXISTING BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



**WHITFIELD HISTORIC RESIDENCE**  
 858 Edison Street,  
 Detroit, Michigan 48206  
**McCrary Group, LLC.** [charles@mccrarygroup.com](mailto:charles@mccrarygroup.com)  
 Architectural Design & Engineering p: 313.333.4031

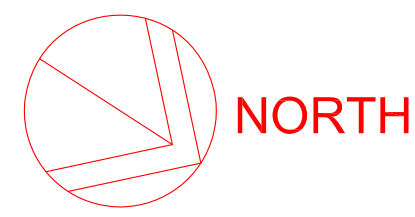
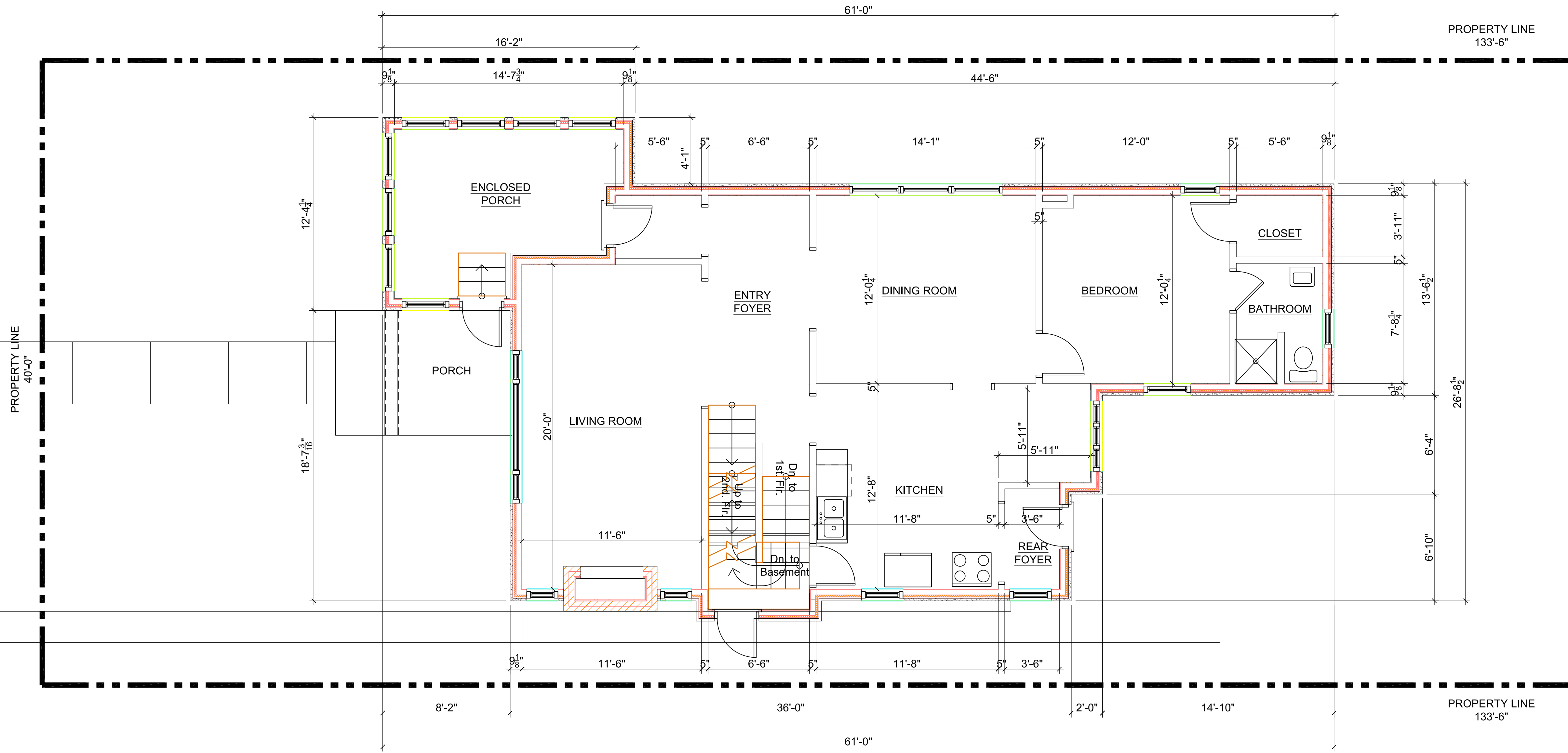
DATE  
 October 8, 2020

1	OWNER'S REVIEW	CM	08-18-2020
2	BUILDING PERMIT	CM	10-08-2020
	REV DESCRIPTION	BY	DATE
	DRAWN	CHECKED	
		CEM	

PROJECT MGI PROJECT NO. 07 31 2020  
**WHITFIELD RESIDENCE**  
 DRAWING TITLE  
**EXIST. BASEMENT FLOOR PLAN**  
 DRAWING NO. REVISION NO.  
**A2-00**

SUPERCEDS ALL PRINTS BEARING PREVIOUS REVISION NUMBER

FILE NAME: Sketch



**EXISTING FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**Demolition Key Notes:**

1. Existing window to remain – restore, re-glaze, paint and re-caulk as required.
2. Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
3. New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
4. Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
5. New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction
6. Remove existing exterior wall construction down to existing foundation.
7. Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
8. Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
9. Existing door to remain.

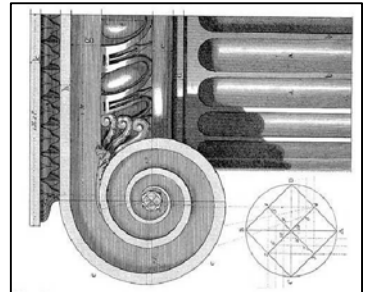
**General Key Notes:**

- A. New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
- B. New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
- C. Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
- D. New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
- E. Provide horizontal blocking in walls to receive upper wall cabinets.
- F. New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.

**WHITFIELD HISTORIC RESIDENCE**

858 Edison Street,  
Detroit, Michigan 48206

**McCrary Group, LLC.**  
Architectural Design & Engineering  
charles@mccrarygroup.com  
p: 313.333.4031



DATE  
October 8, 2020

**WHITFIELD RESIDENCE**

PROJECT MGI PROJECT NO. 07 31 2020

**EXISTING FIRST FLOOR PLAN**

DRAWING TITLE  
DRAWING NO. A2-01

REVISION NO. 1

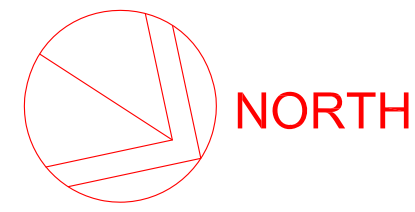
SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER

REV	DESCRIPTION	BY	DATE
1	OWNER'S REVIEW	CM	08-18-2020
2	BUILDING PERMIT	CM	10-08-2020

REV	DESCRIPTION	BY	DATE
	DRAWN		
	CHECKED		
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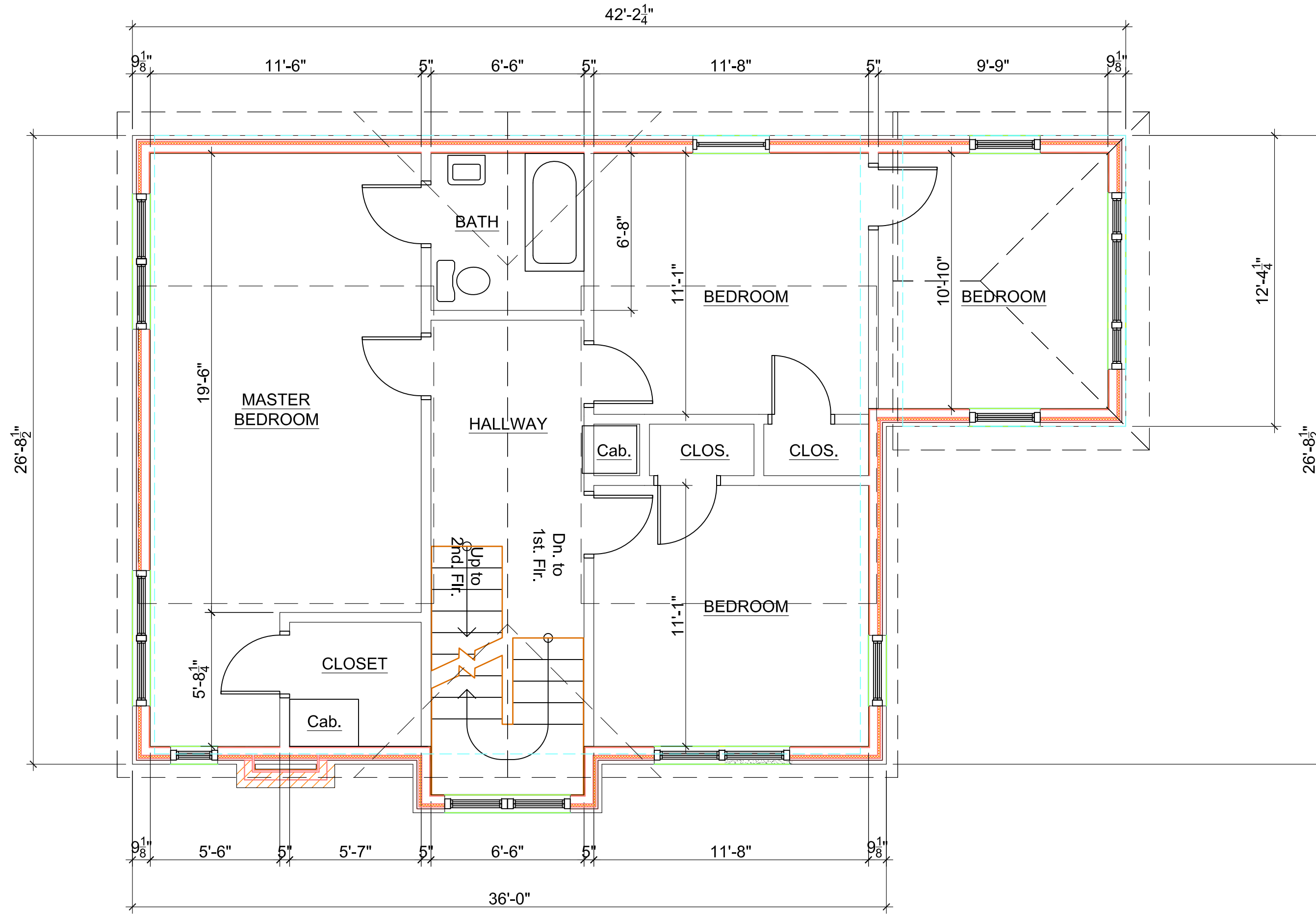
FILE NAME: Sketch

SCALE: AS NOTED



# EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

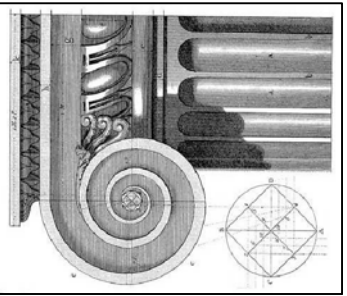


**Demolition Key Notes:**

1. Existing window to remain – restore, re-glaze, paint and re-caulk as required.
2. Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
3. New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
4. Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
5. New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction
6. Remove existing exterior wall construction down to existing foundation.
7. Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
8. Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
9. Existing door to remain.

**General Key Notes:**

- A. New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
- B. New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
- C. Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
- D. New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
- E. Provide horizontal blocking in walls to receive upper wall cabinets.
- F. New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.



858 Edison Street,  
Detroit, Michigan 48206

**McCrary Group, LLC.**  
Architectural Design & Engineering  
charles@mccrarygroup.com  
p: 313.333.4031

DATE

October 8, 2020

SCALE: AS NOTED

1	OWNER'S REVIEW	CM	08-18-2020
2	BUILDING PERMIT	CM	10-08-2020

REV	DESCRIPTION	BY	DATE
	DRAWN		
	CHECKED		
	<b>CEM</b>		

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07 31 2020

## WHITFIELD RESIDENCE

DRAWING TITLE

### EXIST. SECOND FLOOR PLAN

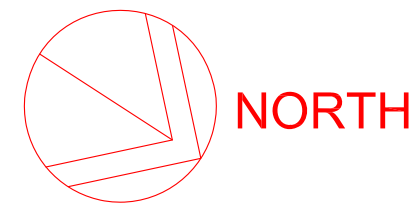
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**A2-02**

REVISION NO.

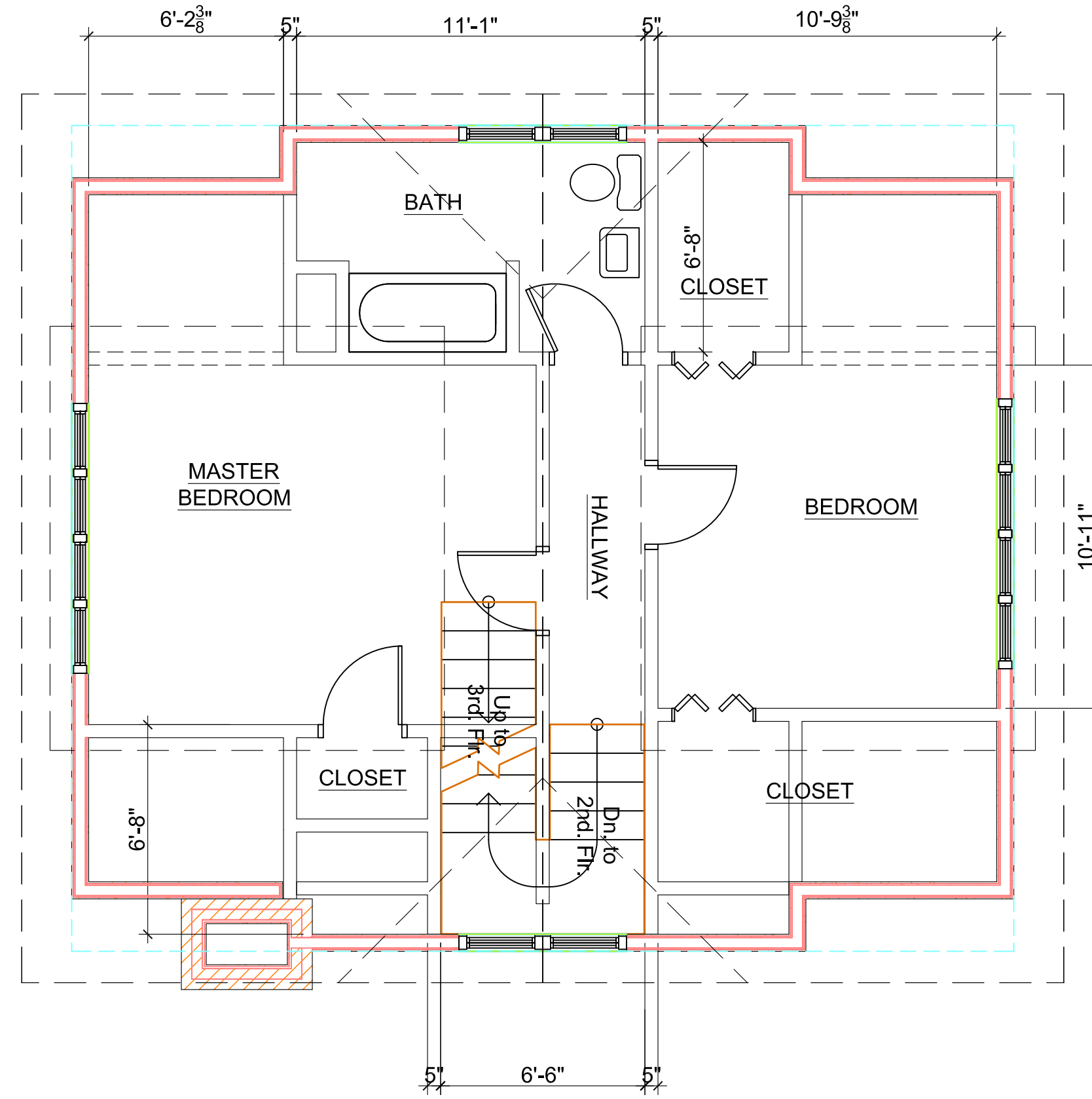
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SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER



# EXISTING THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

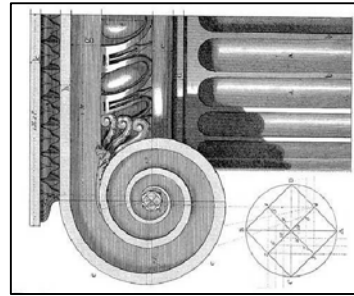


**Demolition Key Notes:**

1. Existing window to remain – restore, re-glaze, paint and re-caulk as required.
2. Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
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**General Key Notes:**

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- D. New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
- E. Provide horizontal blocking in walls to receive upper wall cabinets.
- F. New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.



## WHITFIELD HISTORIC RESIDENCE

858 Edison Street,  
Detroit, Michigan 48206

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Architectural Design & Engineering p: 313.333.4031

DATE

October 8, 2020

SCALE: AS NOTED

1	OWNER'S REVIEW	CM	08-18-2020
2	BUILDING PERMIT	CM	10-08-2020

REV	DESCRIPTION	BY	DATE
DRAWN			
CHECKED			
<b>CEM</b>			

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07\_31\_2020

# WHITFIELD RESIDENCE

DRAWING TITLE

## EXISTING THIRD FLOOR PLAN

DRAWING NO.

**A2-03**

REVISION NO.

1

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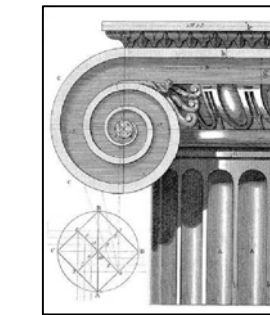
# Whitfield Residence

## Residential Addition

858 Edison, Detroit MI 48206

### DRAWING INDEX:

- A0-00 COVER SHEET
- A0-01 ENGINEERING SURVEY
- A1-01 ARCHITECTURAL SITE PLAN
- A2-00 EXISTING BASEMENT PLAN
- A2-01 EXISTING FIRST FLOOR PLAN
- A2-02 EXISTING SECOND FLOOR PLAN
- A2-03 EXISTING THIRD FLOOR PLAN
- A3-01 FIRST FLOOR PLAN
- A3-02 SECOND FLOOR PLAN
- A3-03 THIRD FLOOR PLAN
- A4-01 EXTERIOR ELEVATIONS
- A5-01 BUILDING DETAILS



**McCrary Group, LLC,**  
Architects / Engineers / Planners

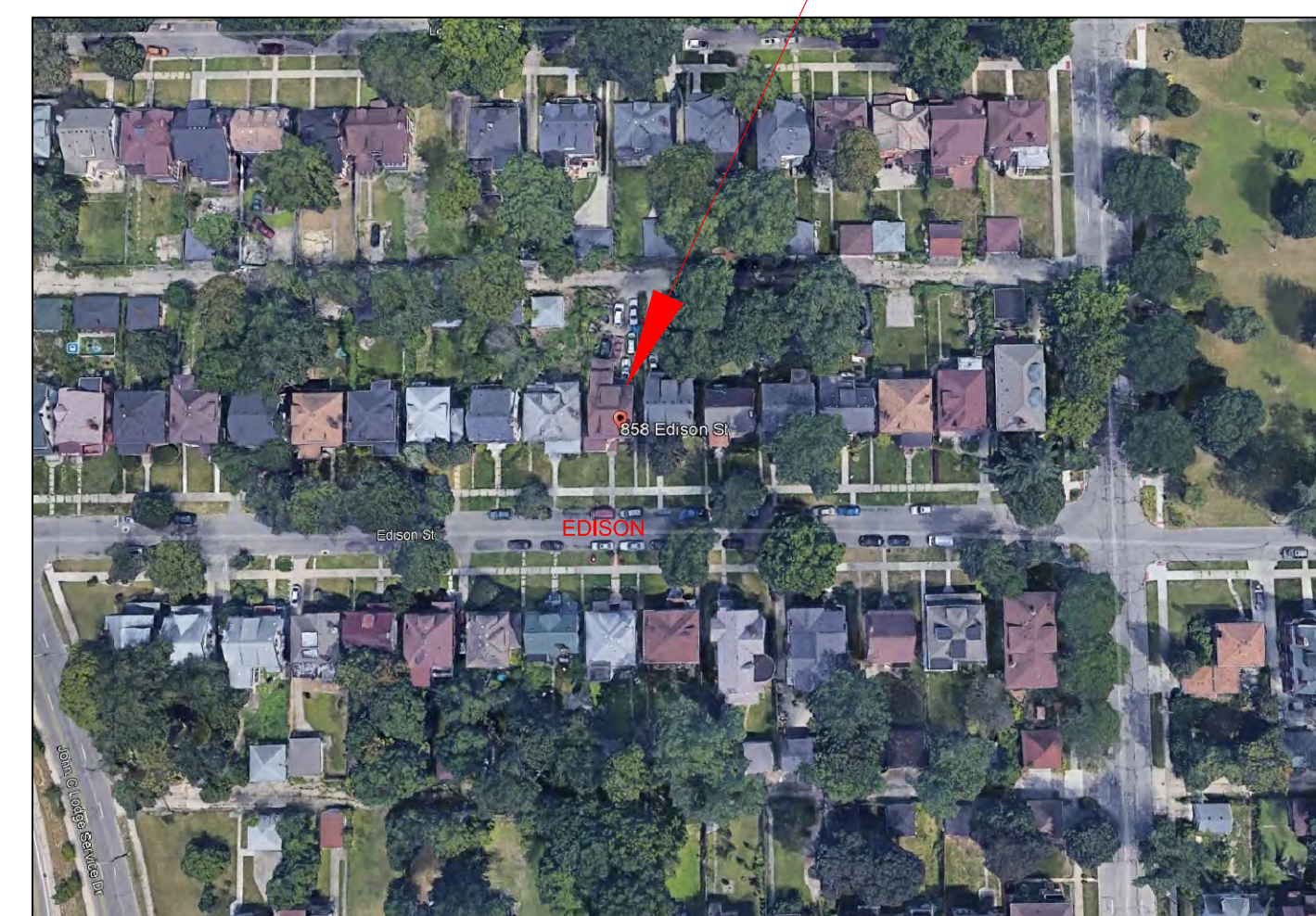
charles@mccrarygroup.com  
(313) 333-4031

ISSUED FOR BIDS/CONSTRUCTION  
September 28, 2020

COMPLIANCE WITH:  
MICHIGAN RESIDENTIAL BUILDING CODE 2015  
MICHIGAN PLUMBING CODE 2015  
MICHIGAN MECHANICAL CODE 2015  
NATIONAL ELECTRICAL CODE 2015

### SITE KEY PLAN LOCATION:

858 Edison, Detroit MI 48206



### DESIGN APPROVAL SIGN-OFF

Home Owner

Date Issued:

REV	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	09-28-2020

PROJECT MGI PROJECT NO.: 12 18 2018

## COVER SHEET

DRAWING TITLE

A0-01

DRAWING NO.

REVISION NO.

1

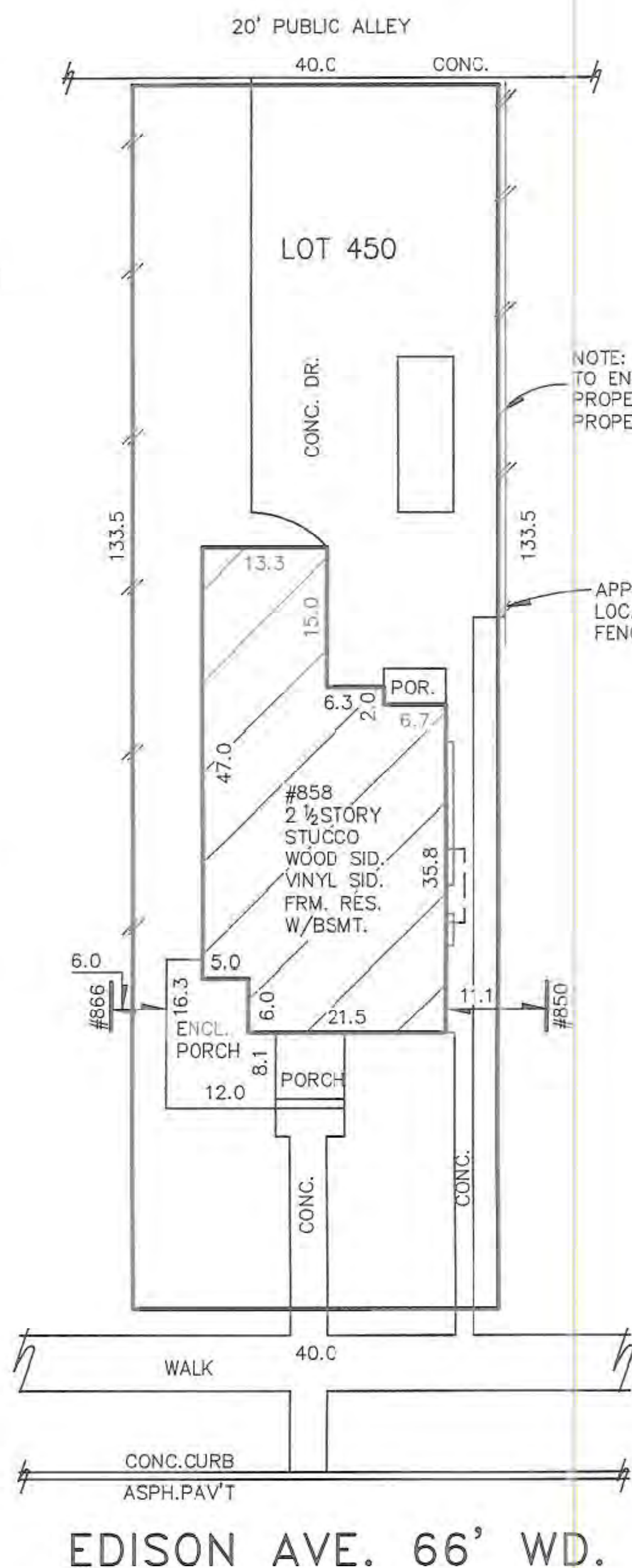
REV	DESCRIPTION	DATE

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MORTGAGE SURVEY

Certified to: CHARLES DIXON AND ALLYSON K. GUY  
 Applicant: CHARLES DIXON AND ALLYSON K. GUY  
 Property Description:  
 Lot 450; VOIGT PARK SUBDIVISION, of E.W. Voigt's Sub'n., of Voigt Park Farm, part of 1/4 Section 36, 10,000 Acre Tract, City of Detroit, Wayne County, Michigan, as recorded in Liber 22 of Plats, Page 94 of Wayne County Records.

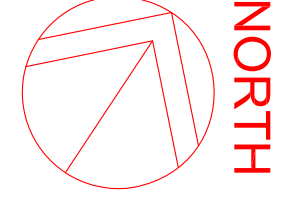


NOTE: A BOUNDARY SURVEY IS NEEDED TO DETERMINE EXACT SIZE AND/OR LOCATION OF PROPERTY LINES, AND TO DETERMINE THE EXACT AMOUNT OF ENCROACHMENT.

NOTE: CONC. DR. APPEARS TO ENCR. FROM SUBJECT PROPERTY ONTO ADJACENT PROPERTY AS SHOWN.

APPROXIMATE LOCATION OF FENCE & CONC.

ENGINEERING SURVEY



CERTIFICATE: We hereby certify that we have surveyed the above-described property in accordance with the description furnished for the purpose of a mortgage loan to be made by the forementioned applicants, mortgagor, and that the buildings located thereon do not encroach on the adjoining property, nor do the buildings on the adjoining property encroach upon the property heretofore described, except as shown. This survey is not to be used for the purpose of establishing property lines, nor for construction purposes, no stakes having been set at any of the boundary corners.

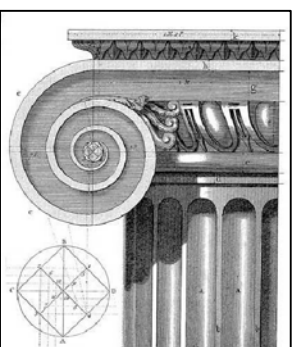


THIS SURVEY DRAWING IS VOID IF THE PROFESSIONAL SEAL IS NOT IN BLUE INK.

*Charles Dixon*

JOB NO: 20-01244 SCALE: 1"=20'  
 DATE: 05/28/20 DR BY: AK

**KEM-TEC** PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES  
 A GROUP OF COMPANIES  
 Eastpointe (800) 295.7222 Detroit (313) 758.0677 Ann Arbor (734) 994.0888 Grand Blanc (888) 694.0001  
 FAX: (586) 772.4048 FAX: (586) 772.4048 FAX: (734) 994.0667 FAX: (810) 694.9955  
 www.kemtecgroupofcompanies.com



**WHITFIELD HISTORIC RESIDENCE**  
 858 Edison Street,  
 Detroit, Michigan 48206  
**McCrary Group, LLC.** charles@mccrarygroup.com  
 Architectural Design & Engineering p: 313.333.4031

1	OWNER'S REVIEW	CM	08-18-2020
2	BUILDING PERMIT	CM	09-28-2020
REV	DESCRIPTION	BY	DATE
DRAWN		CHECKED	
		CEM	

PROJECT MGI PROJECT NO. 07 31 2020

**WHITFIELD RESIDENCE**  
 DRAWING TITLE  
**ENGINEERING SURVEY**  
 DRAWING NO. A0-01 REVISION NO. 1

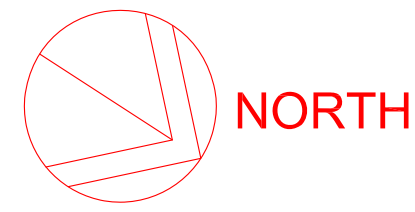
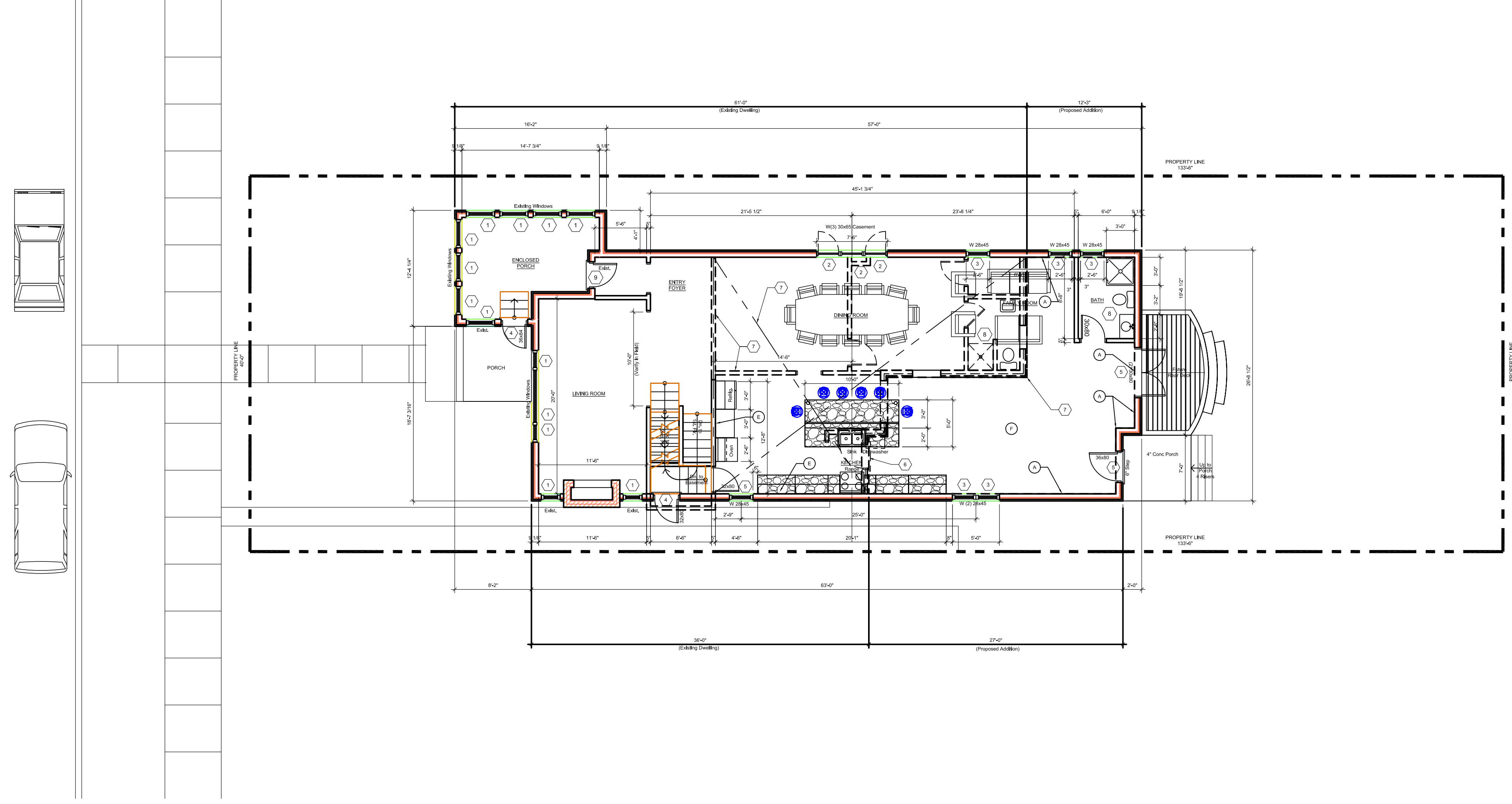
DATE September 28, 2020

SCALE: AS NOTED

FILE NAME: Sketch

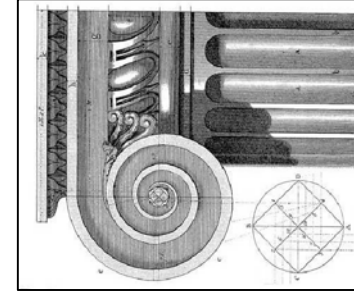
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# ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"



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Architectural Design & Engineering p: 313.333.4031

DATE

September 28, 2020

SCALE: AS NOTED

1 OWNER'S REVIEW

CM 08-18-2020

2 BUILDING PERMIT

CM 09-28-2020

REV DESCRIPTION

BY DATE

DRAWN

CHECKED

CEM

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07-31-2020

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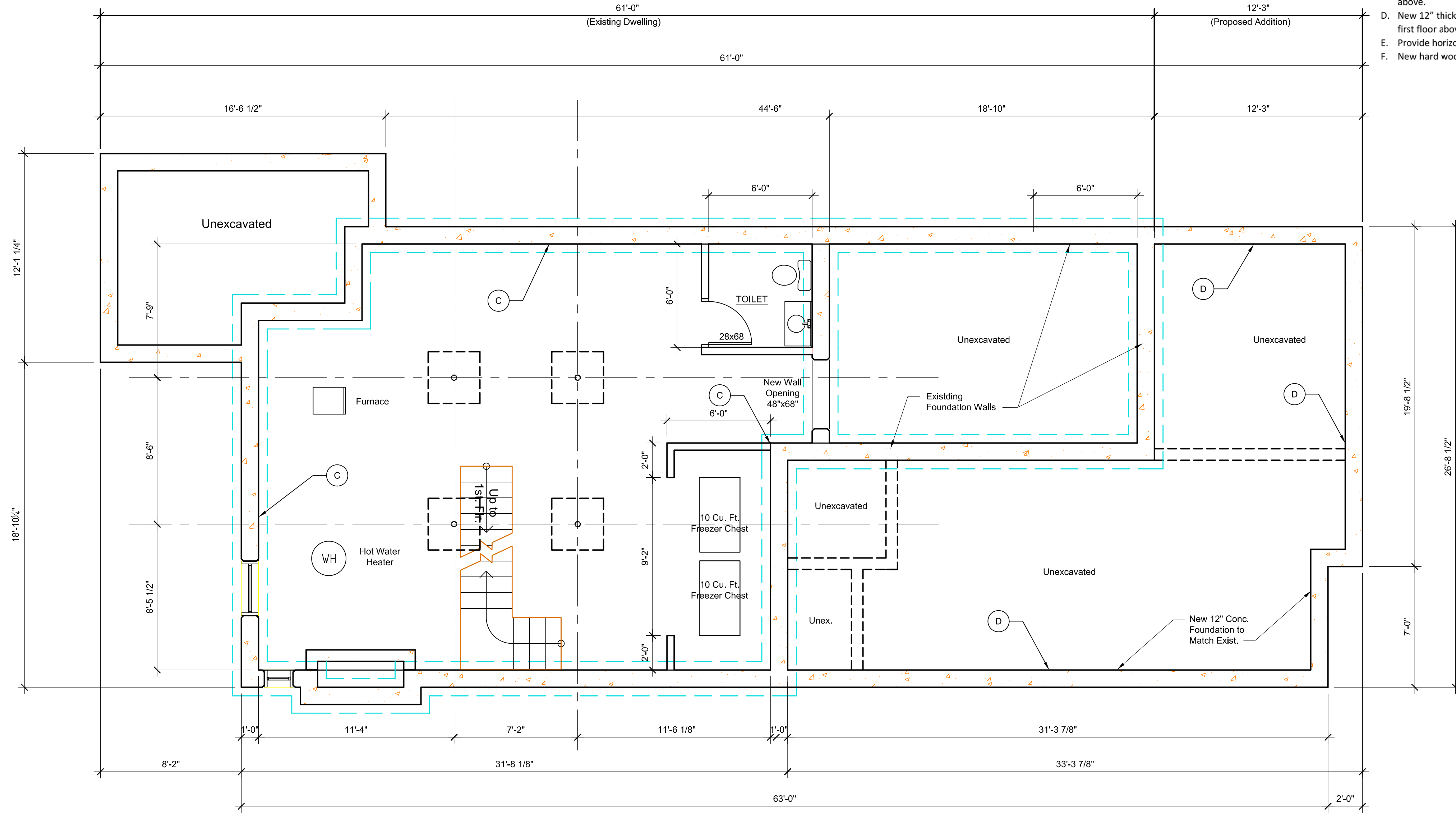
FIRST FLOOR PLAN

DRAWING NO. A2-01

REVISION NO.

1

SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER



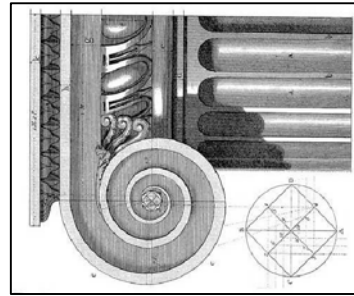
**PROPOSED BASEMENT FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**Demolition Key Notes:**

1. Existing window to remain – restore, re-glaze, paint and re-caulk as required.
2. Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
3. New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
4. Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
5. New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction
6. Remove existing exterior wall construction down to existing foundation.
7. Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
8. Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
9. Existing door to remain.

**General Key Notes:**

- A. New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
- B. New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
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- E. Provide horizontal blocking in walls to receive upper wall cabinets.
- F. New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.



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p: 313.333.4031

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REV	DESCRIPTION	BY	DATE
	DRAWN		
	CHECKED		
	CEM		

FILE NAME: Sketch

PROJECT MGI PROJECT NO. 07 31 2020

**WHITFIELD RESIDENCE**

DRAWING TITLE

**BASEMENT FOUNDATION PLAN**

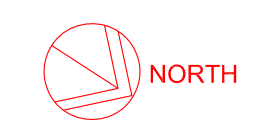
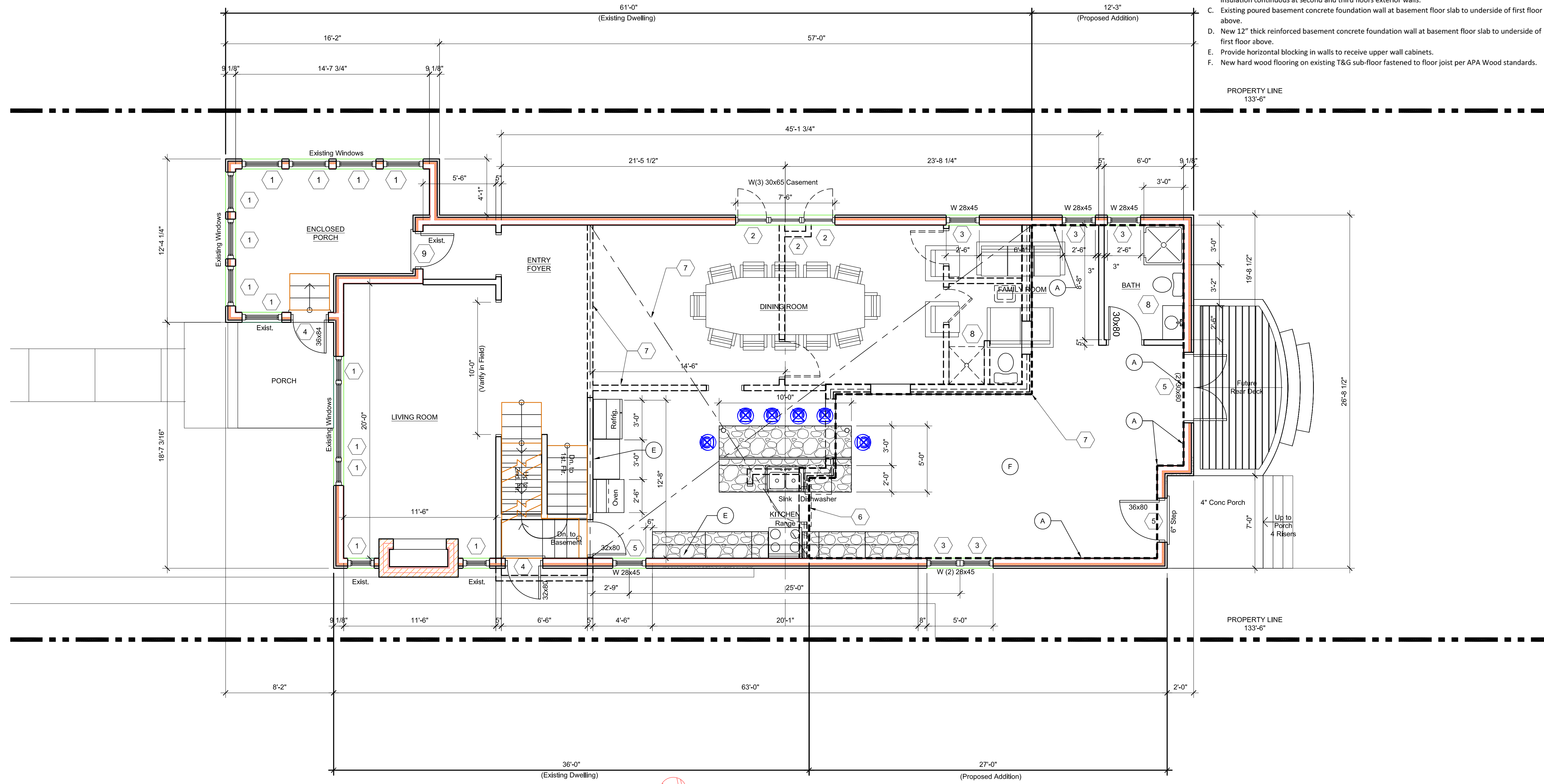
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**A3-00**

REVISION NO.

1

SUPERCEDS ALL PRINTS BEARING PREVIOUS REVISION NUMBER



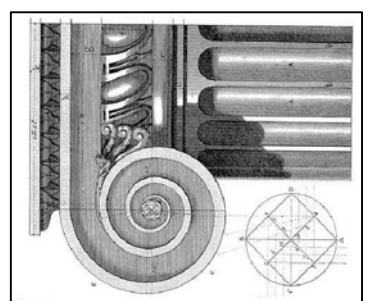
**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- Demolition Key Notes:**
- Existing window to remain – restore, re-glaze, paint and re-caulk as required.
  - Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
  - New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
  - Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
  - New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction
  - Remove existing exterior wall construction down to existing foundation.
  - Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
  - Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
  - Existing door to remain.
- General Key Notes:**
- New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
  - New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
  - Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
  - New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
  - Provide horizontal blocking in walls to receive upper wall cabinets.
  - New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.

PROJECT MGI PROJECT NO. 07 31 2020  
**WHITFIELD RESIDENCE**  
 DRAWING TITLE  
**FIRST FLOOR PLAN**  
 DRAWING NO. A3-01  
 REVISION NO. 1

1	OWNER'S REVIEW	CM	08-18-2020
2	BUILDING PERMIT	CM	09-28-2020
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		CEM	

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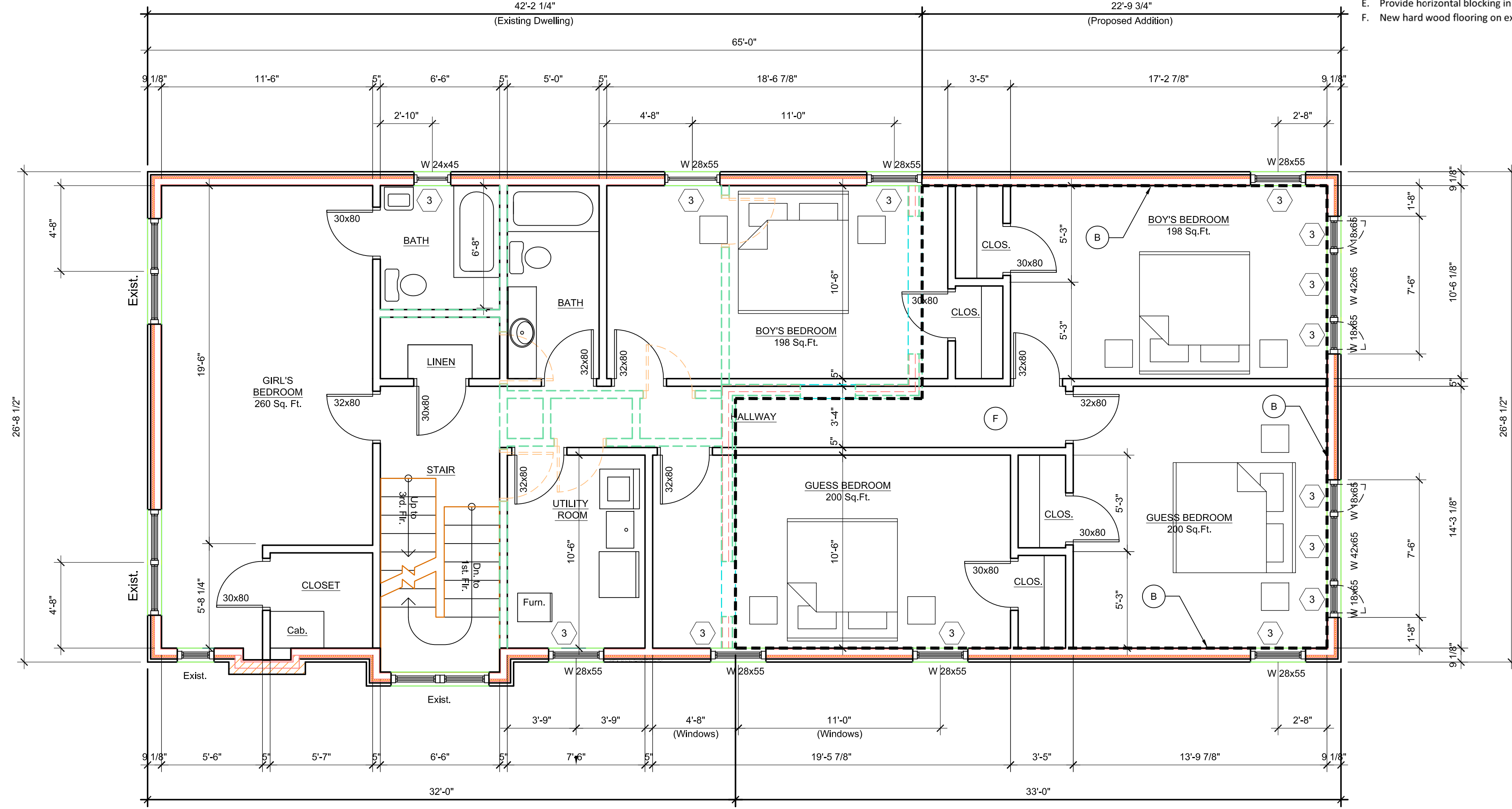


DATE  
 September 28, 2020  
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SUPERCEDS ALL PRINTS BEARING PREVIOUS REVISION NUMBER

FILE NAME: Sketch





**PROPOSED SECOND FLOOR PLAN**

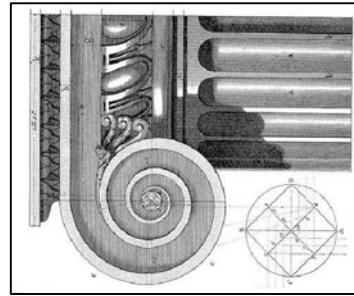
SCALE: 1/4" = 1'-0"

**Demolition Key Notes:**

- Existing window to remain – restore, re-glaze, paint and re-caulk as required.
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charles@mccrarygroup.com  
p: 313.333.4031

DATE

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2	BUILDING PERMIT	CM	09-28-2020

REV	DESCRIPTION	BY	DATE
	DRAWN		
	CHECKED		
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PROJECT MGI PROJECT NO. 07 31 2020

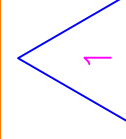
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DRAWING TITLE

**SECOND FLOOR PLAN**

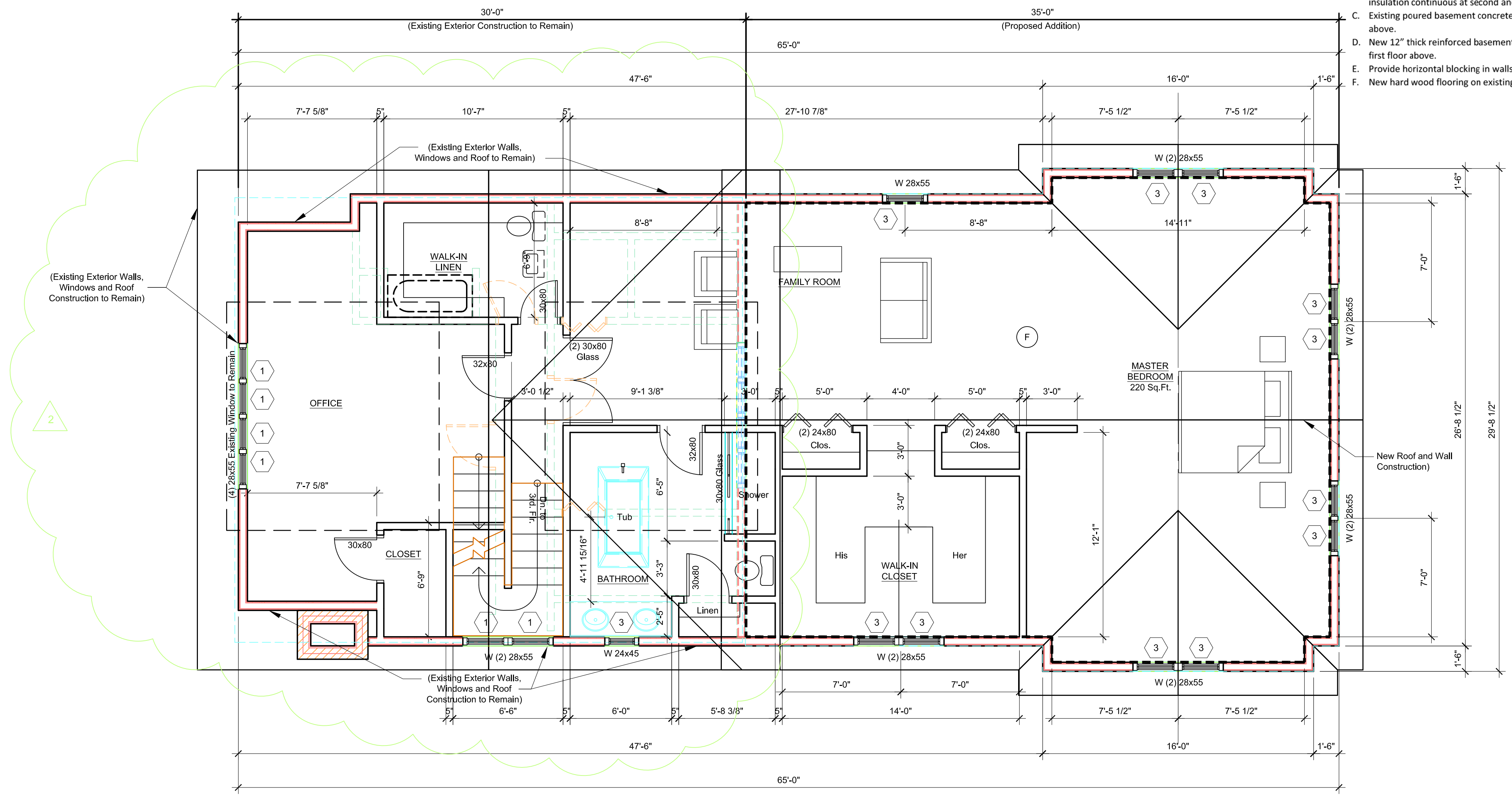
DRAWING NO. REVISION NO.

**A3-02**



SUPERCEDS ALL PRINTS BEARING PREVIOUS REVISION NUMBER

FILE NAME: Sketch



NORTH  
**PROPOSED THIRD FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**Demolition Key Notes:**

1. Existing window to remain-- restore, re-glaze, paint and re-caulk as required.
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PROJECT MGI PROJECT NO. 07 31 2020

# WHITFIELD RESIDENCE

DRAWING TITLE  
THIRD FLOOR PLAN

DRAWING NO. A3-03

REVISION NO. 1

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1	OWNER'S REVIEW	CM	08-18-2020
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REV	DESCRIPTION	BY	DATE

DRAWN	CHECKED
	CEM

FILE NAME: Sketch

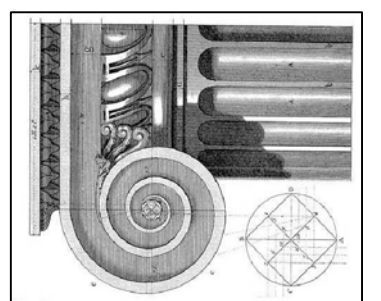
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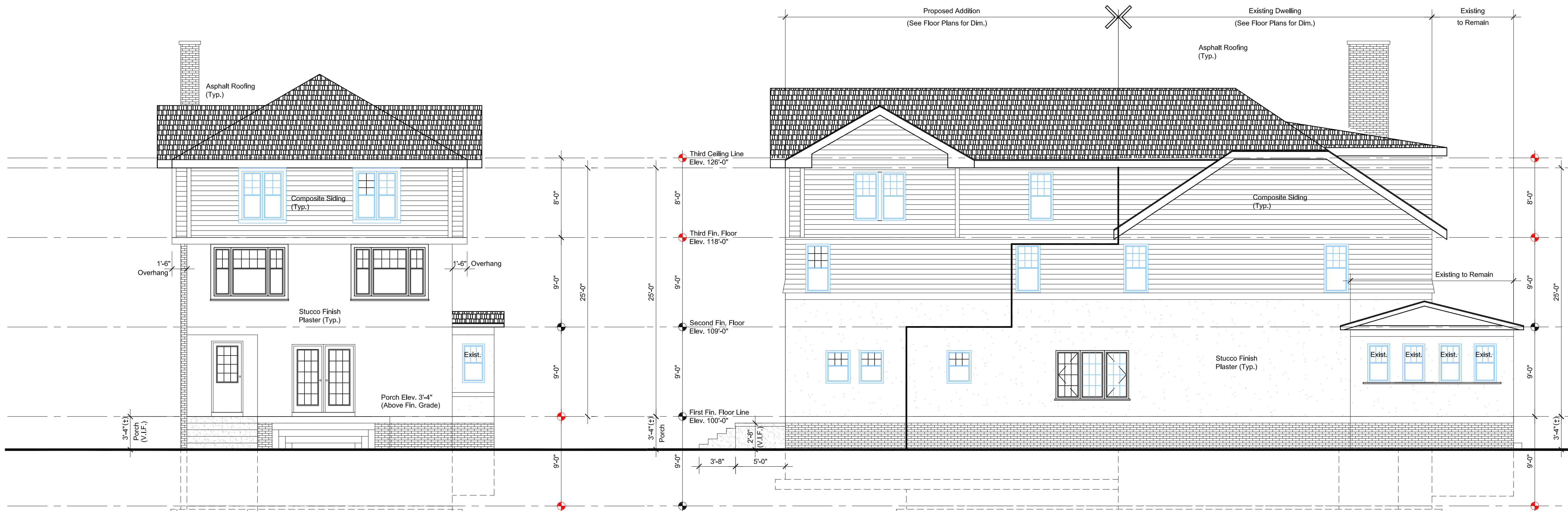
858 Edison Street,  
Detroit, Michigan 48206

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Architectural Design & Engineering  
charles@mccrarygroup.com  
p: 313.333.4031

SCALE: AS NOTED

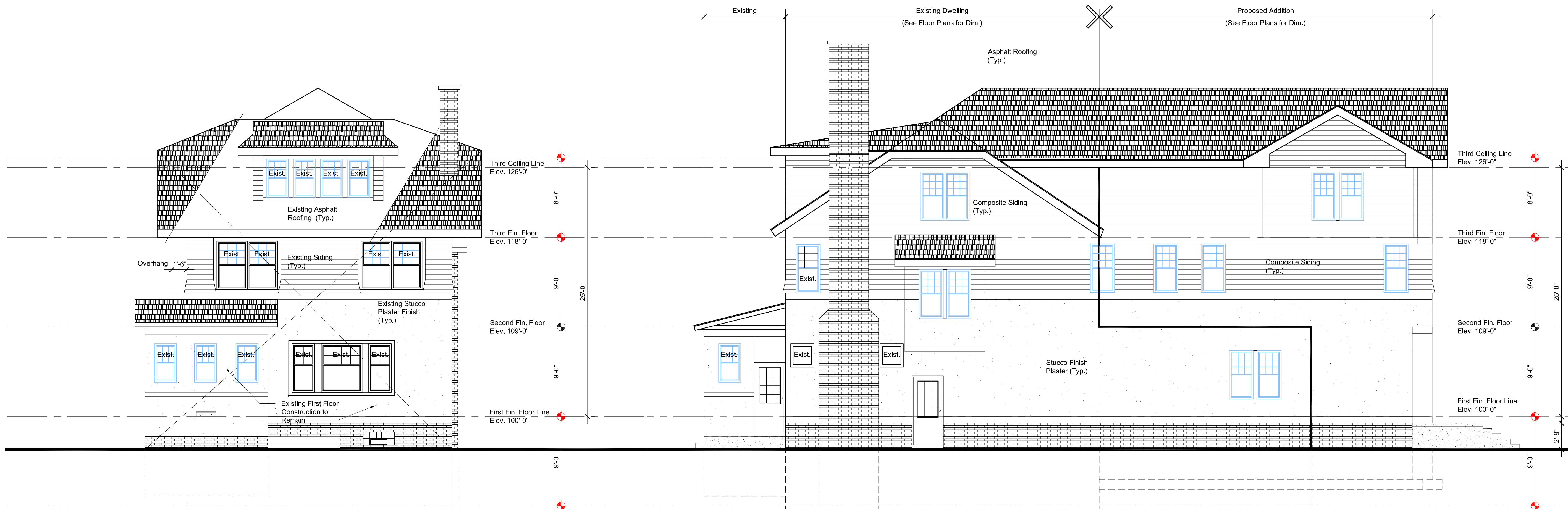
DATE  
September 28, 2020





**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

**WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

**EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

Note:  
See Sheet A3-01 First Floor Plan for  
Windows Dimensions and Sizes

**WHITFIELD HISTORIC RESIDENCE**  
858 Edison Street,  
Detroit, Michigan 48206

**McCrory Group, LLC.** [charles@mccrorygroup.com](mailto:charles@mccrorygroup.com)  
Architectural Design & Engineering P: 313.333.4031

**WHITFIELD RESIDENCE**  
DRAWING TITLE  
EXTERIOR ELEVATIONS  
DRAWING NO. A4-01  
REVISION NO. 1

PROJECT MGI PROJECT NO. 07 31 2020

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2	BUILDING PERMIT	CM	09-28-2020

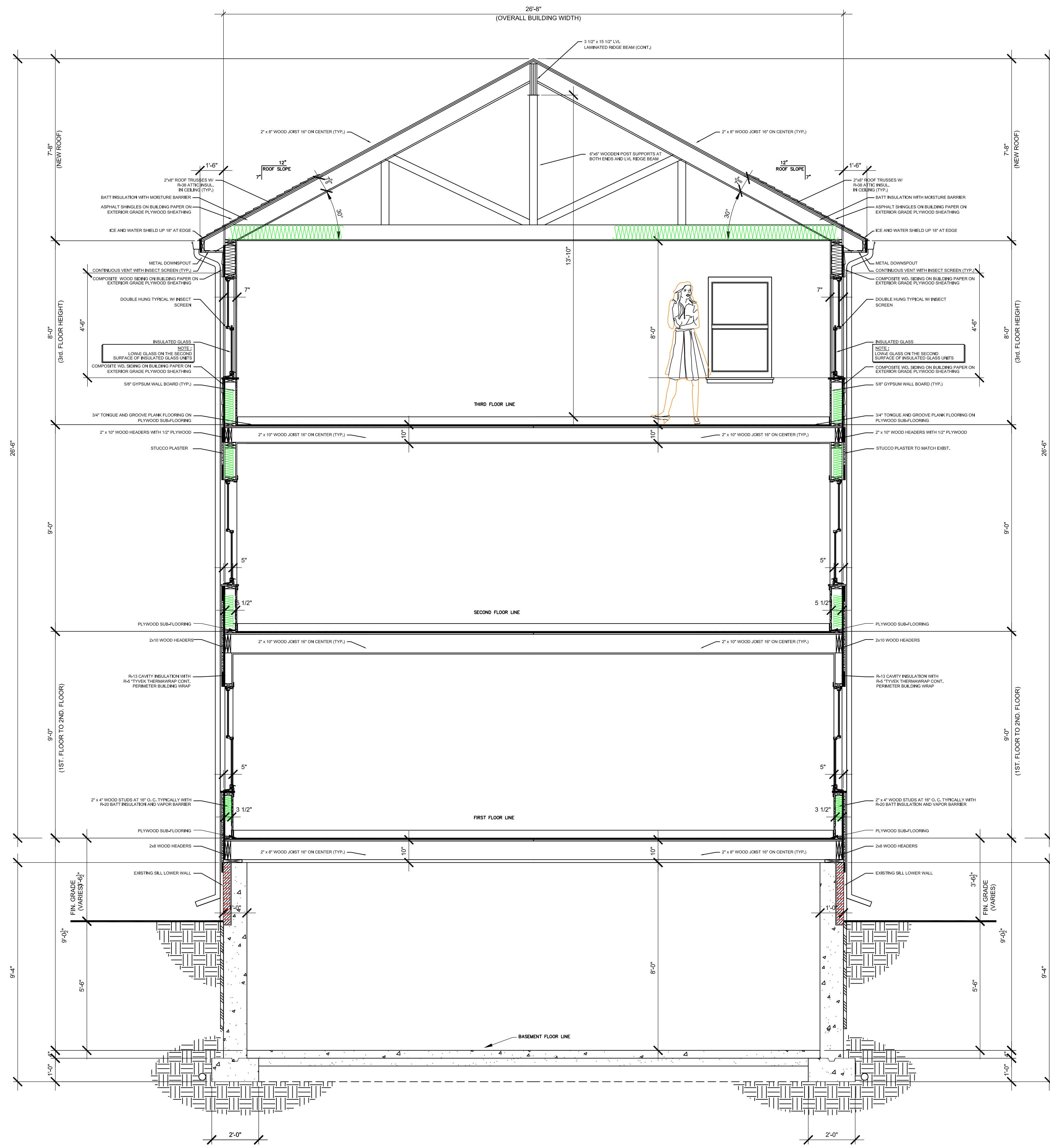
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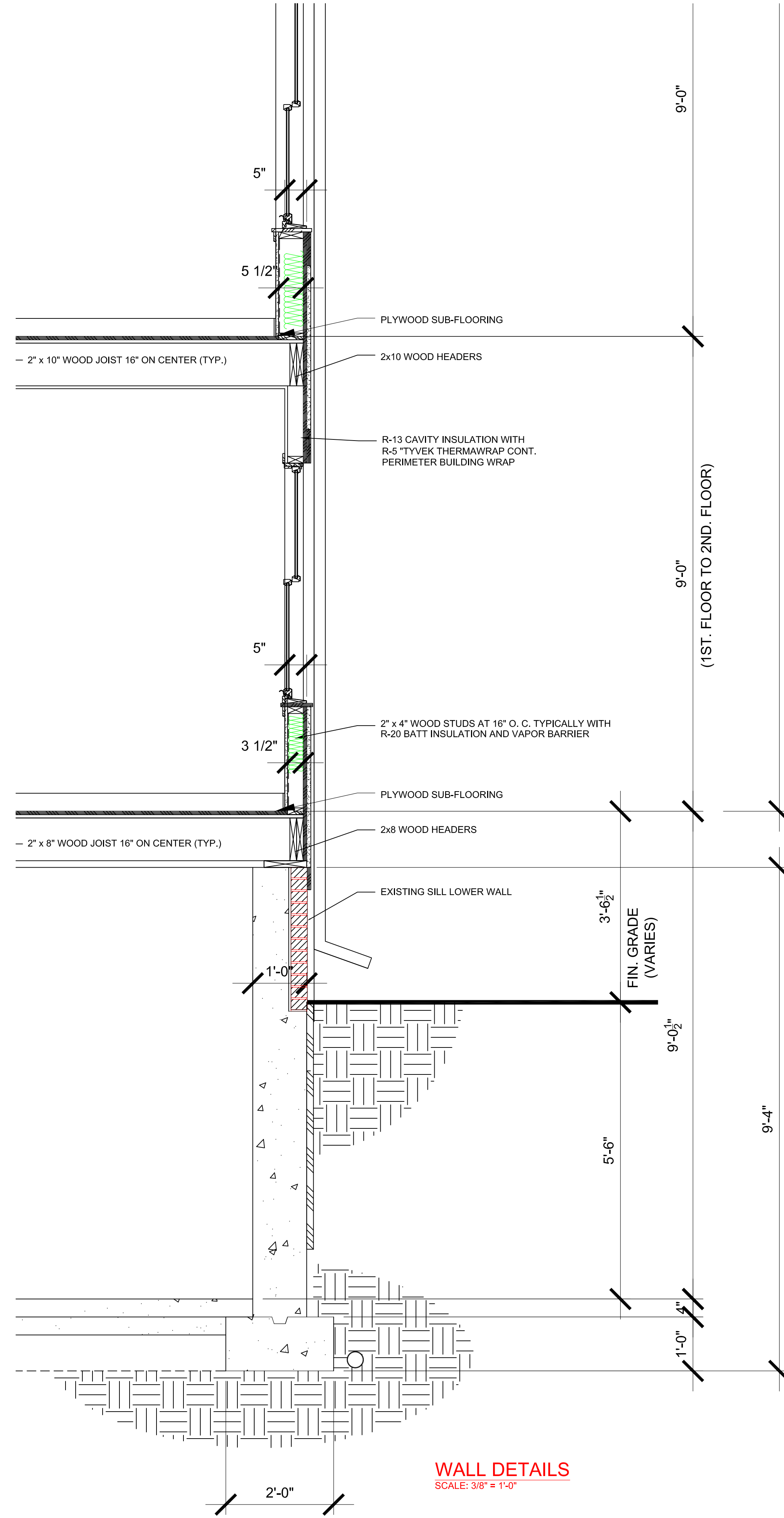
DATE September 28, 2020

FILE NAME: Sketch

SUPERCEDS ALL PRINTS BEARING PREVIOUS REVISION NUMBER



**BUILDING CROSS SECTION**  
SCALE: 3/8" = 1'-0"



**WALL DETAILS**  
SCALE: 3/8" = 1'-0"

**WHITFIELD HISTORIC RESIDENCE**

858 Edison Street,  
Detroit, Michigan 48206

**McCrary Group, LLC.** [charles@mccrarygroup.com](mailto:charles@mccrarygroup.com)  
Architectural Design & Engineering p: 313.333.4031

PROJECT MGI PROJECT NO. 08 05 2020

**WHITFIELD RESIDENCE**

DRAWING TITLE

**BUILDING DETAILS**

DRAWING NO. REVISION NO.

**A5-01**

1	OWNER'S REVIEW	CM	08-18-2020
2	BUILDING PERMIT	CM	09-28-2020

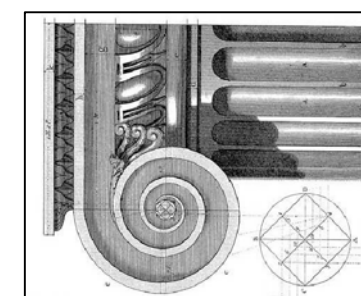
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	DRAWN		
	CHECKED		
	<b>CEM</b>		

SCALE: AS NOTED

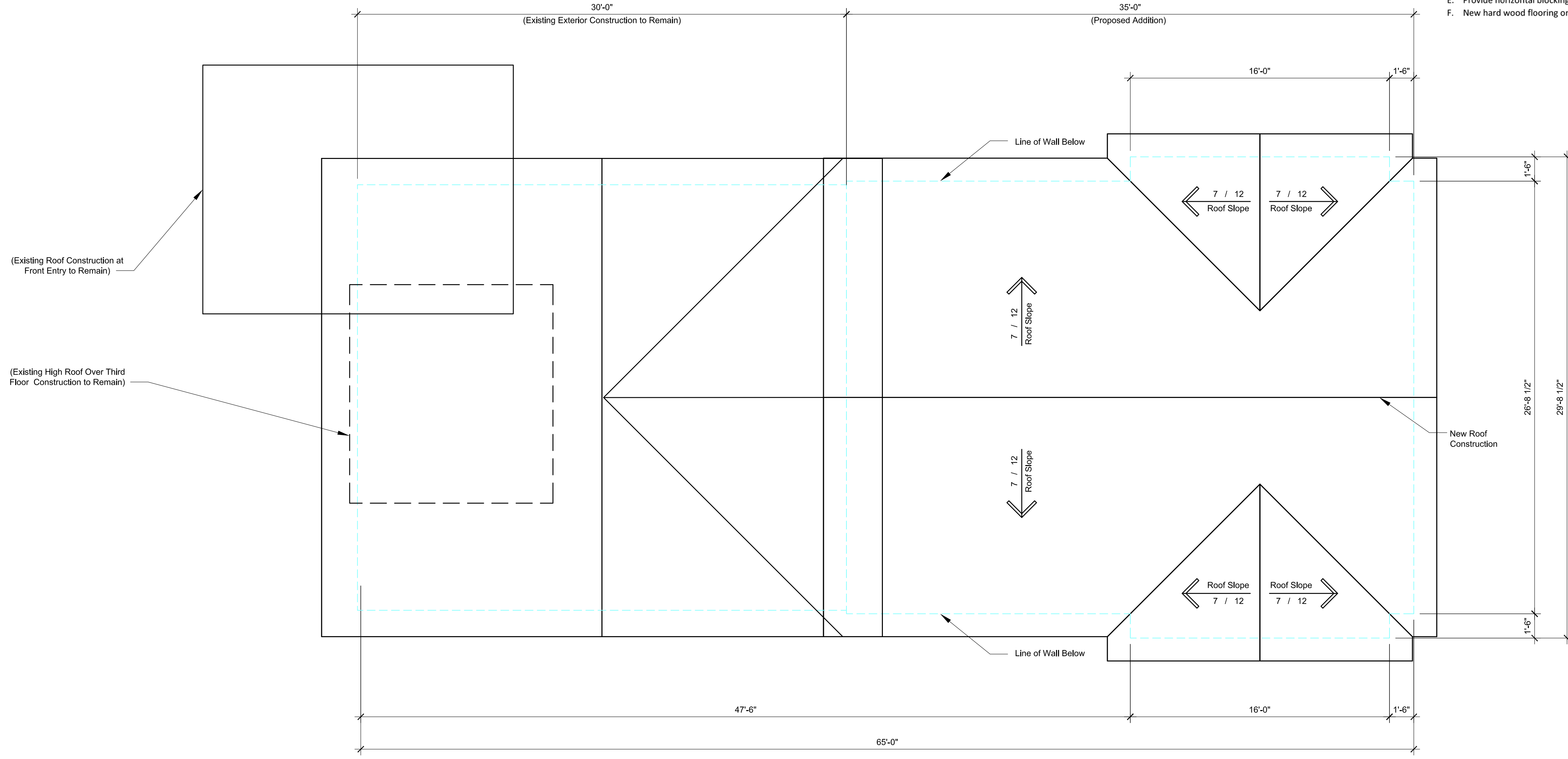
DATE  
September 28, 2020

SUPERCEDS ALL PRINTS BEARING PREVIOUS REVISION NUMBER

FILE NAME: Sketch







NORTH  
**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

**Demolition Key Notes:**

- Existing window to remain – restore, re-glaze, paint and re-caulk as required.
- Replace existing window to match existing style and size with new aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors.
- New window aluminum clad wood windows as manufactured by Pella "Series 450" Windows and Doors set in new wall construction.
- Replace existing non-original door to with new all wood door as manufactured by Pella "Series 450" Windows and Doors.
- New all wood doors as manufactured by Pella "Series 450" Windows and Doors set in new wall construction
- Remove existing exterior wall construction down to existing foundation.
- Remove existing walls, flooring, ceilings, and roof construction in renovated area as required.
- Remove existing plumbing fixtures, existing abandon plumbing lines and existing abandon existing wiring not required in new construction.
- Existing door to remain.

**General Key Notes:**

- New partition 5/8" gypsum wall board on 2"x4" wood studs 16" O.C. with minimum R-19, 3 1/2" batt insulation continuous at first floor exterior walls.
- New partition 5/8" gypsum wall board on 2"x6" wood studs 16" O.C. with R-19, 3 1/2" batt insulation continuous at second and third floors exterior walls.
- Existing poured basement concrete foundation wall at basement floor slab to underside of first floor above.
- New 12" thick reinforced basement concrete foundation wall at basement floor slab to underside of first floor above.
- Provide horizontal blocking in walls to receive upper wall cabinets.
- New hard wood flooring on existing T&G sub-floor fastened to floor joist per APA Wood standards.

PROJECT MGI PROJECT NO. 07 31 2020

**WHITFIELD RESIDENCE**

DRAWING TITLE

**ROOF PLAN**

DRAWING NO.

**A3-04**

REVISION NO.

1

SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER

1 OWNER'S REVIEW CM 08-18-2020

2 BUILDING PERMIT CM 09-28-2020

REV DESCRIPTION BY DATE

DRAWN CHECKED

CEM

FILE NAME: Sketch

**WHITFIELD HISTORIC RESIDENCE**

858 Edison Street,  
 Detroit, Michigan 48206

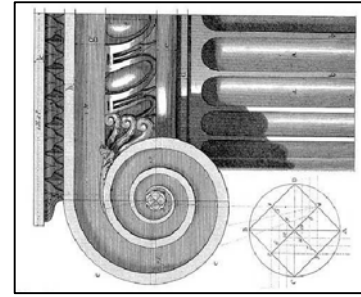
**McCrary Group, LLC.**  
 Architectural Design & Engineering

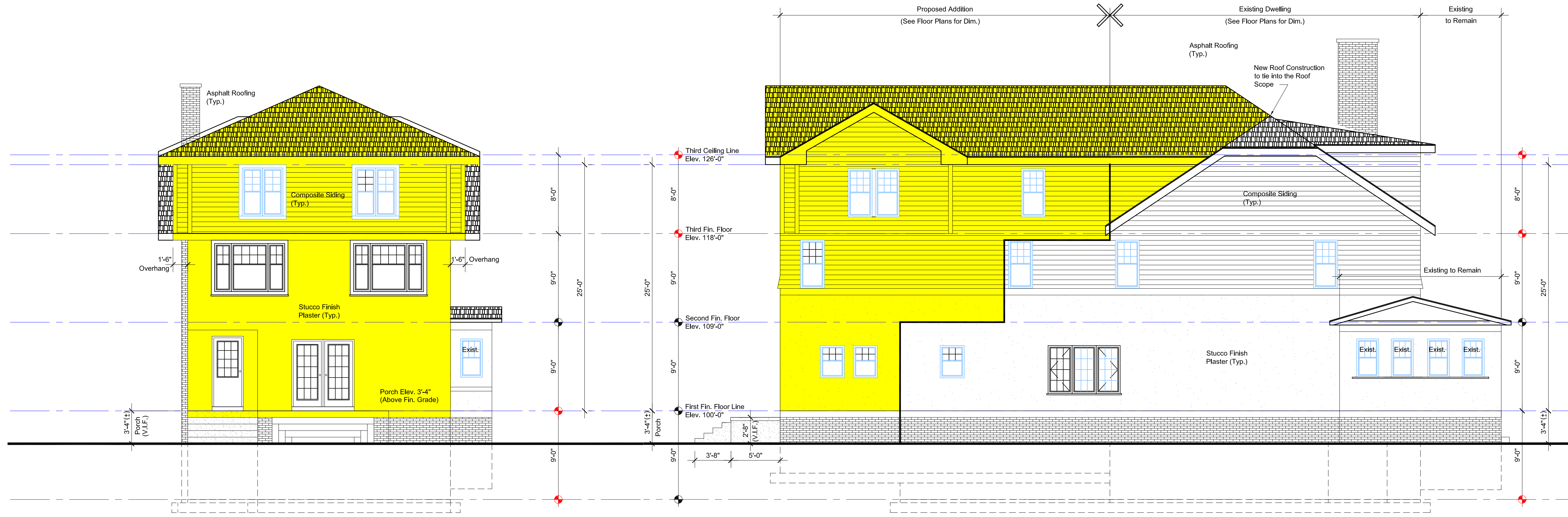
charles@mccrarygroup.com  
 p: 313.333.4031

SCALE: AS NOTED

DATE

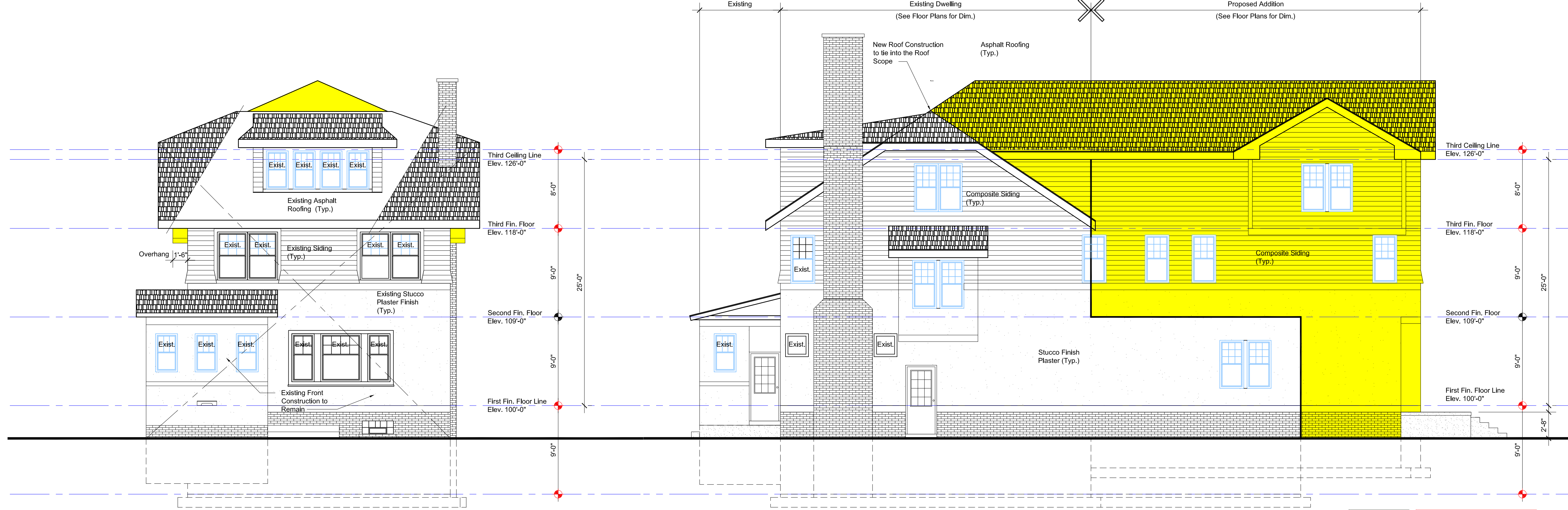
October 2, 2020





**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

**WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

**EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

Legend: Color shading indicates new construction

Note: See Sheet A3-01 First Floor Plan for Windows Dimensions and Sizes

PROJECT MGI PROJECT NO. 07 31 2020

**WHITFIELD RESIDENCES**

DRAWING TITLE EXTERIOR ELEVATIONS

DRAWING NO. A4-01

REVISION NO. 1

1 OWNER'S REVIEW CM 08-18-2020

2 BUILDING PERMIT CM 09-28-2020

REV DESCRIPTION BY DATE

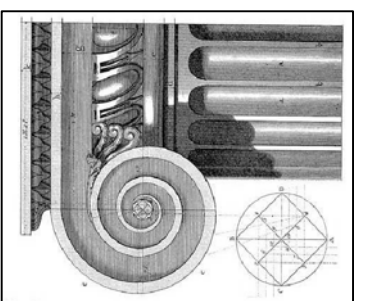
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**WHITFIELD HISTORIC RESIDENCE**

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Architectural Design & Engineering

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p. 313.333.4031

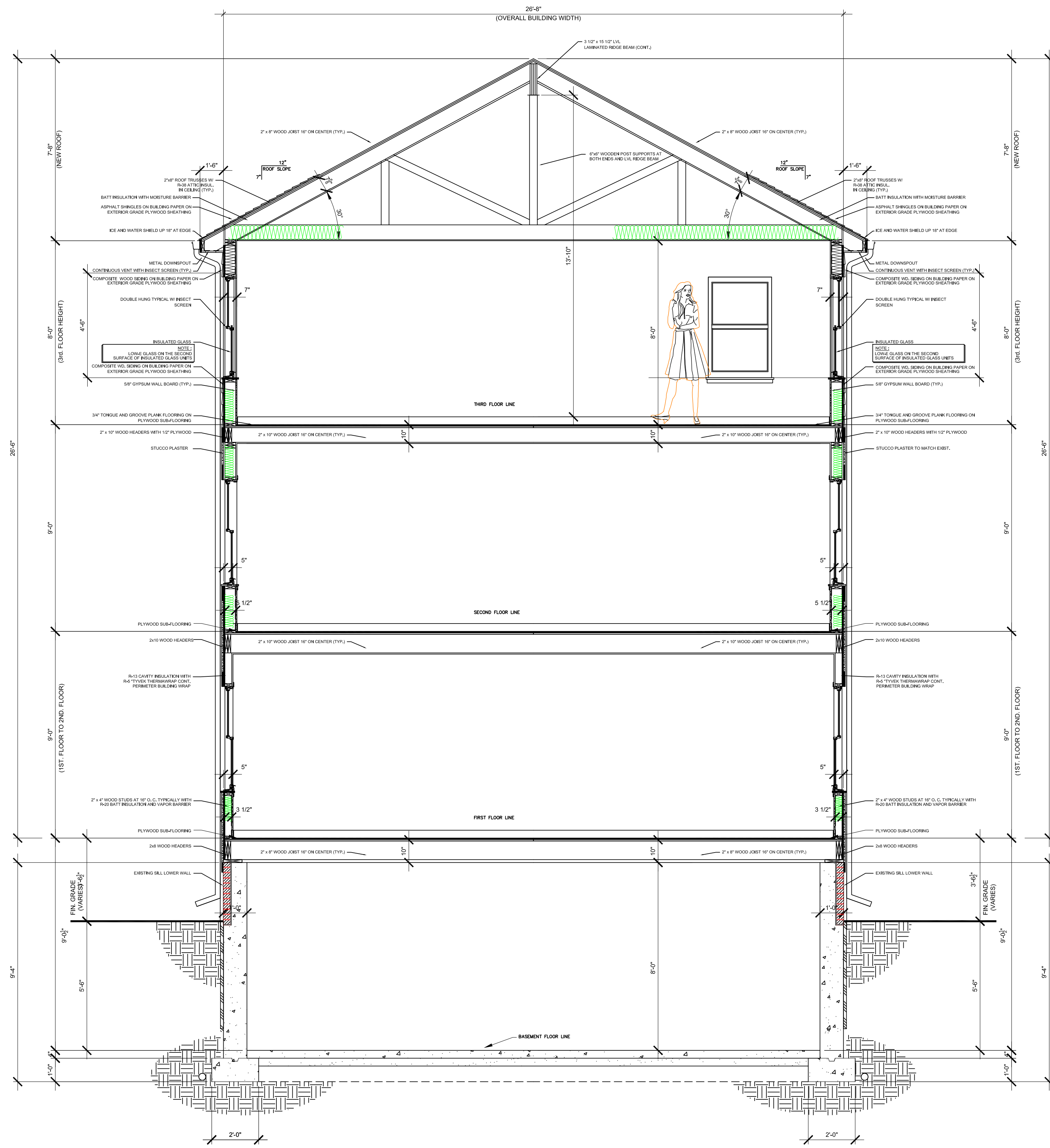


DATE October 2, 2020

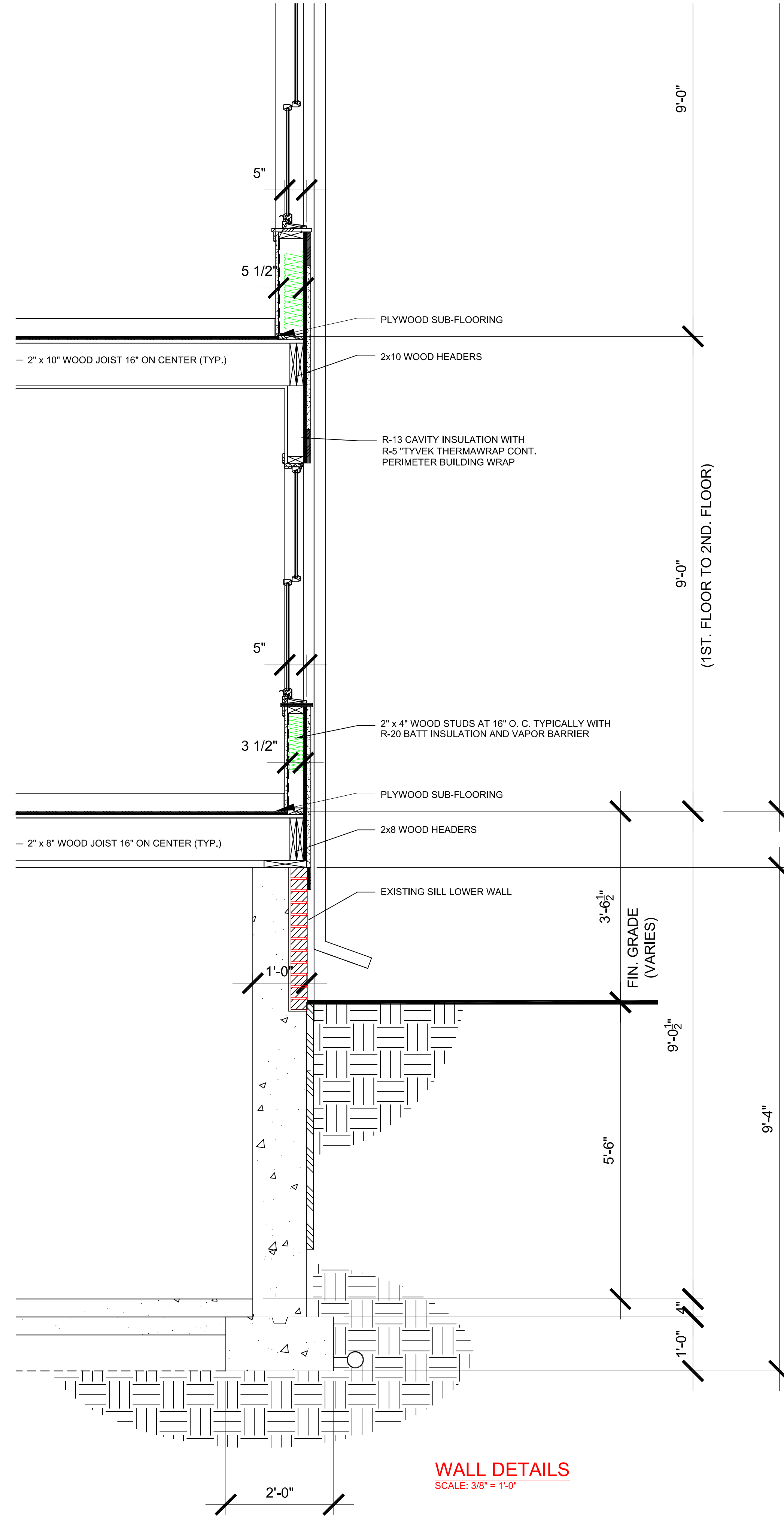
SCALE: AS NOTED

SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER

FILE NAME: Sketch



**BUILDING CROSS SECTION**  
SCALE: 3/8" = 1'-0"



**WALL DETAILS**  
SCALE: 3/8" = 1'-0"

**WHITFIELD HISTORIC RESIDENCE**

858 Edison Street,  
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**McCrary Group, LLC.** [charles@mccrarygroup.com](mailto:charles@mccrarygroup.com)  
Architectural Design & Engineering p: 313.333.4031

1	OWNER'S REVIEW	CM	08-18-2020
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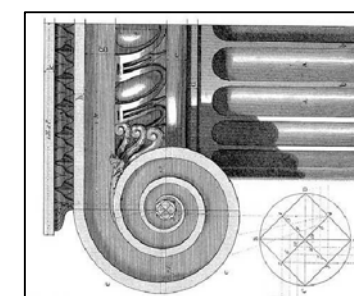
PROJECT MGI PROJECT NO. 08 05 2020  
**WHITFIELD RESIDENCE**  
DRAWING TITLE  
BUILDING DETAILS  
DRAWING NO. A5-01  
REVISION NO. 1

SCALE: AS NOTED

DATE  
September 28, 2020

FILE NAME: Sketch

SUPERCEDS ALL PRINTS BEARING PREVIOUS REVISION NUMBER



Restore the look of a grand Cape Cod or add distinction to a handsome bungalow. HardieShingle® siding embodies the enchanting look of cedar shingles with lower maintenance.

Better than the real thing, HardieShingle siding resists rotting, curling, warping and splitting.



Achieve the handcrafted  
**LOOK OF CEDAR.**



**STAGGERED EDGE PANEL**

*Chestnut Brown*

**Thickness** 1/4 in.  
**Length** 48 in.  
**Height** 15.25 in.  
**Exposure** 6 in.  
**Pcs./Pallet** 100  
**Sq./Pallet** 2  
**Pcs./Sq.** 50.0



**STRAIGHT EDGE PANEL**

*Iron Gray*

**Thickness** 1/4 in.  
**Length** 48 in.  
**Height** 15.25 in.  
**Exposure** 7 in.  
**Pcs./Pallet** 86  
**Sq./Pallet** 2  
**Pcs./Sq.** 43.0



**HALF ROUNDS\***

*Not available with ColorPlus Technology*

**Thickness** 1/4 in.  
**Length** 48 in.  
**Height** 15.25 in.  
**Exposure** 7 in.  
**Pcs./Pallet** 86  
**Sq./Pallet** 2  
**Pcs./Sq.** 43.0

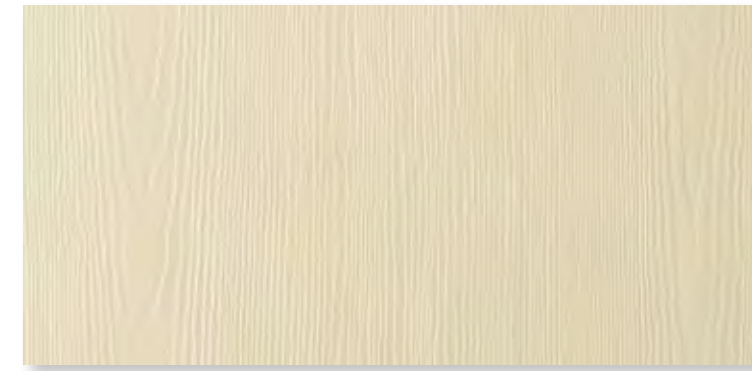
\*Half Rounds are only available in Minneapolis, Detroit, Kentucky, and St. Louis districts.

HardiePanel® vertical siding delivers style and substance. When combined with HardieTrim® boards, it achieves the rustic board-and-batten look that defines cottage charm. The covered seams contribute to a well-insulated home.

Its crisp, clean lines make HardiePanel vertical siding a smart choice for strong, contemporary designs.



True to the tradition of  
**PERFORMANCE AND BEAUTY.**



**SELECT CEDARMILL®**

*Navajo Beige*

<b>Thickness</b>	5/16 in.		
<b>Size</b>	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
<b>Pcs./Pallet</b>	50	50	50
<b>Pcs./Sq.</b>	3.2	2.8	2.5



**SMOOTH**

*Evening Blue*

<b>Thickness</b>	5/16 in.		
<b>Size</b>	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
<b>Pcs./Pallet</b>	50	50	50
<b>Pcs./Sq.</b>	3.2	2.8	2.5



**STUCCO**

*Navajo Beige*

<b>Thickness</b>	5/16 in.		
<b>Size</b>	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
<b>Pcs./Pallet</b>	50	50	50
<b>Pcs./Sq.</b>	3.2	2.8	2.5



**SIERRA 8**

*Not available with ColorPlus Technology*

<b>Thickness</b>	5/16 in.		
<b>Size</b>	4 ft. x 8 ft.	4 ft. x 9 ft.*	4 ft. x 10 ft.
<b>Pcs./Pallet</b>	50	50	50
<b>Pcs./Sq.</b>	3.2	2.8	2.5

\*4 ft. x 9 ft. HardiePanel vertical siding only available primed.

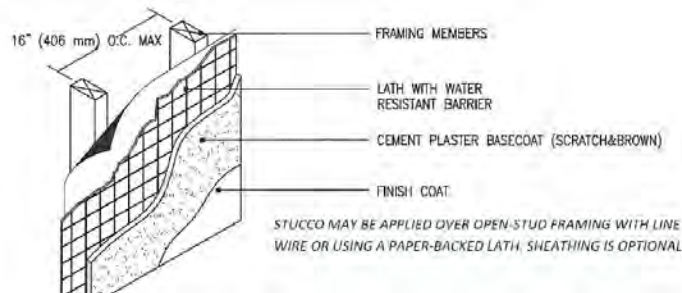
Products are available primed or with ColorPlus Technology finishes. For more details, visit [jameshardiepros.com](http://jameshardiepros.com)

## Whitfield Residence – Stucco Specs

### The Stucco Manufacturers Association (SMA) Guide Specification for 3-coat Portland Cement Plaster (Stucco) applied to Framed Walls

**INTRODUCTION:** The Stucco Manufacturers Association (SMA) is a non-profit association formed in 1957 to promote best practices for cement plastering (stucco). The SMA is made up of manufacturers, dealers, contractors and consultants who desire to promote stucco through education, collaboration and agree to follow SMA by-laws. This process promotes quality and institutes a mechanism to solve on site issues through third party observations/reports.

This guide specification is for a standard three-coat portland cement plaster with a cement or an acrylic finish coat on framing or furring. A portland cement plaster assembly is comprised of a sheathing (optional), water resistant barrier(s) a lath, scratch and brown coats (the basecoat), and a decorative finish coat. Ancillary items include: Trim accessories, architectural shapes, crack reduction systems, special coatings.



The specification may be customized by the design professional/building envelope consultant to suit the project requirements and follows the Construction Specification Institute's (CSI) MasterFormat (2004 Ed.) and Section Format. There are locations where information needs to be added or deleted depending upon project needs. These locations are indicated using the following formatting:

Notes that provide instructions or guidance to specifier. These should be deleted when no longer needed.

Possible options for the assembly. Select appropriate option(s) and delete the remaining options. Delete the brackets and un-bold the selected option(s).

Locations where text needs to be inserted by the specifier.

This specification should be used along with other documentation including the SMA three coat stucco details, technical papers, applicable ASTM standards, AAMA recommendations, and SMA approved product data sheets. Visit [www.stuccomfgassoc.com](http://www.stuccomfgassoc.com) to obtain these documents and SMA members for more information.

**Applicator:** The contractor installing the lath and plaster (stucco) assembly has a significant impact on the success of the cladding. Education and training are critical. Regional variations should be vetted prior to accepting. It is recommended to use SMA contractors and work with your stucco product manufacturers.

*Stucco Manufacturers Association* – [www.stuccomanufacturersassoc.com](http://www.stuccomanufacturersassoc.com)

**Manufacturers:** Not all plaster/stucco products are alike. Some "stucco-like" products have proven to be problematic and fail over time or in certain environments. SMA member manufacturers provide quality products for the industry. Members agree to SMA by-laws and strictly adhere to ASTM, ANSI, ICC and SMA standards. Refer to SMA website for current approved product list.

**Consultants:** Consultants should agree to provide services on a third-party basis. They should not have any conflicts of interest. Consultants are listed on the SMA website and fees for services regarding disputes are recommended to be shared in advance between the disputing parties. This increases the chance of an unbiased report. The SMA staff will offer an opinion on any submitted report.

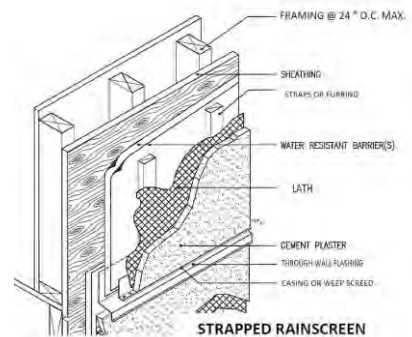
## Alternative Assemblies:

**Continuous Insulation** - Rigid foam sheathing may be added under three-coat cement plaster over framed walls per ASTM and the International Code. SMA 2017 recommendations include:

- A maximum thickness of two (2) inches foam
- A rigid foam with channels or a matt for backside drainage
- An approved water resistant barrier under the foam sheathing: **Exception**, foam density with sufficient structural strength to have windows surface mounted may have sheet WRB over foam. Attach lath to framing members.
- Designers are encouraged to consider ICC, Intertek or IAPMO approved “Insulated Cement Plaster” systems when using foam for CI. Refer to SMA website for more information.

**Stucco over Masonry, Concrete or Concrete Masonry Units (CMU)**- Refer to the SMA guide specification specifically for portland cement plaster over masonry/concrete.

**Rainscreen:** This assembly employs the concept of an air space or designed gap created between the cement plaster and the substrate. This gap allows for faster drainage and drying of the cement membrane. This may be beneficial in high rainfall areas with limited drying days, there is an added cost for this option. Traditional “concealed barrier” stucco is per the building code, ASTM and when installed correctly, a proven and cost effective weather-resistive cladding for framed walls. Flashings for larger penetrations should be per code and industry recommendations. Building Envelope consultants should be used for rain screen design.





## Pella® 450 Series Wood Windows and Patio Doors



Come on in and explore windows and patio doors offering beautiful wood craftsmanship, exceptional energy efficiency and Pella's most popular choices – all at a competitive price.



# FEATURES AND OPTIONS

Personalize your windows and doors with our most requested design choices.

Visit [pella.com/pella-450-series](http://pella.com/pella-450-series) to see the complete list of features and options available on Pella® 450 Series products.

## ENDURACLAD® ALUMINUM EXTERIOR FINISHES

### Standard



White

Tan

Brown

### Feature



Poplar White

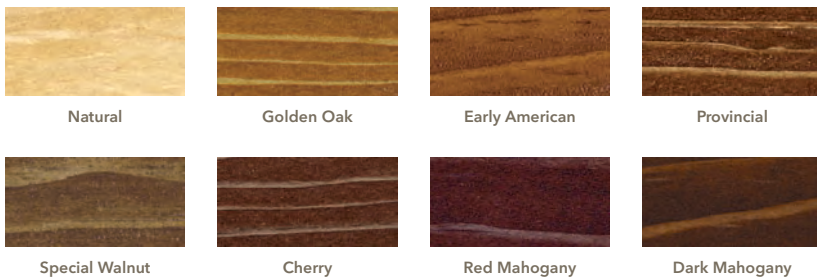
Putty

Hartford Green

Brick Red

Black

## PREFINISHED PINE INTERIORS



Natural

Golden Oak

Early American

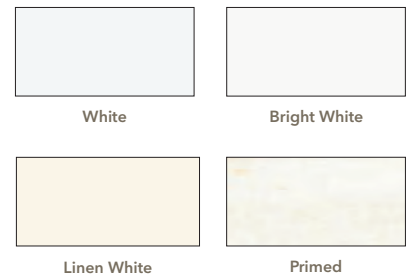
Provincial

Special Walnut

Cherry

Red Mahogany

Dark Mahogany



White

Bright White

Linen White

Primed

## SCREENS<sup>1</sup>



Vivid View screens allow in 29% more light and 21% more airflow.<sup>2</sup> InView screens let in 14% more light and 8% more airflow<sup>2</sup> – plus, they're the standard option on all Pella 450 Series wood windows and patio doors.

## HARDWARE



Double-Hung Window Sash Lift

Double-Hung Window Cam-Action Sash Lock

Casement and Awning Fold-Away Window Crank

Sliding Patio Door Handle

Hinged Patio Door Handle

### Hardware Finishes



Hinged patio door hardware not available in Champagne and White.

<sup>1</sup> Warning: Use caution when children or pets are around open windows and doors. Screens are not designed to retain children or pets.

<sup>2</sup> Screen cloth airflow is based on calculated screen cloth openness. Screen cloth transmittance was measured using an integrated sphere spectrophotometer.

<sup>3</sup> On hinged patio doors, Endura Hardware Collection offers superior corrosion resistance with a 10-year warranty. See written warranty for complete details at [pella.com/warranty](http://pella.com/warranty).

<sup>4</sup> Oil-Rubbed Bronze is a living finish that will develop its own unique patina with use.



## Pella® 450 Series Features and Options



### GLASS

#### InsulShield® Low-E Glass Collection

Advanced Low-E insulating glass with argon*	O
AdvancedComfort double-pane glass with argon*	O
SunDefense™ Low-E insulating glass with argon*	O
NaturalSun Low-E insulating glass with argon*	O

#### Additional Energy-Efficient Glass Options

Clear insulating glass with argon*	O
Gray-, Bronze- or Green-tinted glass with argon**	O
Obscure glass*	O

\* Optional high-altitude InsulShield Low-E insulating glass does not contain argon.

\*\* Not available with blinds-between-the-glass on sliding patio doors.

### EXTERIOR/INTERIOR FINISHES

EnduraClad® aluminum exterior	S
Unfinished Pine interior	S
Prefinished paint or primed interior	O
Prefinished stain (Pine)	O

### ENDURA CLAD EXTERIOR COLORS

Standard colors (White, Tan or Brown)	S
Feature colors	O*

\* Available in Poplar White, Putty, Hartford Green, Brick Red or Black only.

### HARDWARE FINISHES

#### Windows and sliding patio doors

Champagne, White or Brown	S
Bright Brass*, Satin Nickel* or Oil-Rubbed Bronze**	O
Exterior handle matches EnduraClad exterior finish color (patio doors)	S

#### Hinged patio doors

Bright Brass*	S
Brown, Satin Nickel*, Oil-Rubbed Bronze**, Antique Brass or Chrome	O

\* Endura Hardware Collection on hinged patio doors offers superior corrosion resistance with a 10-year warranty. See written warranty for complete details at [pella.com/warranty](http://pella.com/warranty).

\*\* Oil-Rubbed Bronze is a living finish that will develop its own unique patina with use.

### SASH LOCKS/SASH LIFTS

Surelock® System with Unison Lock System* (casement and awning windows)	S
Cam-action locks (double-hung windows)	S
Sash lifts (sold separately for double-hung windows)	O

\* Unison Lock System is standard on casement and awning windows over 29" tall or wide, respectively. Dual sash locks and lifts are standard on large windows.

### EASY-CLEAN FEATURES

Clean exterior glass from inside (casement, awning and double-hung windows)	S
Both sashes tilt at the bottom (double-hung windows)	S

### HINGES

Match handle finish color (in-swing doors)	O
--	---

### LOCKING SYSTEM

Hinged patio door multipoint locking system	S
Sliding patio door single-point locking system	S

### PERMANENT GRILLES\*

7/8" Simulated-Divided-Light grilles (wood roomside and EnduraClad exterior)	O
3/4" aluminum grilles-between-the-glass**	O

\* Grille patterns offered may vary per product. See your local Pella sales representative for availability.

\*\* Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

### REMOVABLE GRILLES\*

3/4" grilles (wood roomside only, no exterior)	O
--	---

\* Grille patterns offered may vary per product. See your local Pella sales representative for availability.

### SCREENS\*

#### Window

InView™ flat screen	S
Vivid View® high-transparency flat screen	O

#### Hinged patio door

Exterior InView flat screen door (matches exterior color)	O
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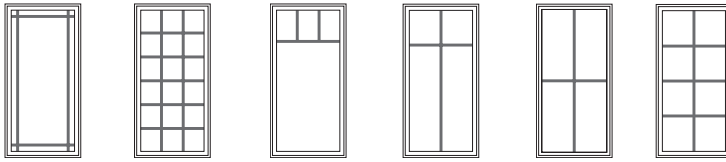
#### Sliding patio door

Top-hung InView flat screen door	O
----------------------------------	---

\* Warning: Use caution when children or pets are around open windows and doors. Screens are not designed to retain children or pets.

(S) Standard (O) Optional

### GRILLE PATTERNS



9-Lite Prairie

Traditional

Top Row

Cross

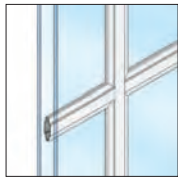
Custom (equally divided)

### GRILLE TYPES

#### Permanent

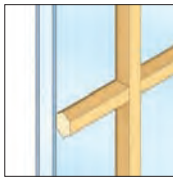


7/8" Simulated-Divided-Light Grilles



3/4" Aluminum Grilles-Between-the-Glass

#### Removable



3/4" Roomside Wood Grilles

### GRILLES-BETWEEN-THE-GLASS INTERIOR COLORS<sup>5</sup>



White



Tan<sup>6</sup>



Brown<sup>6</sup>



Ivory



Harvest



Cordovan



Brickstone

<sup>5</sup> Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

<sup>6</sup> Only available with same colors on interior and exterior.



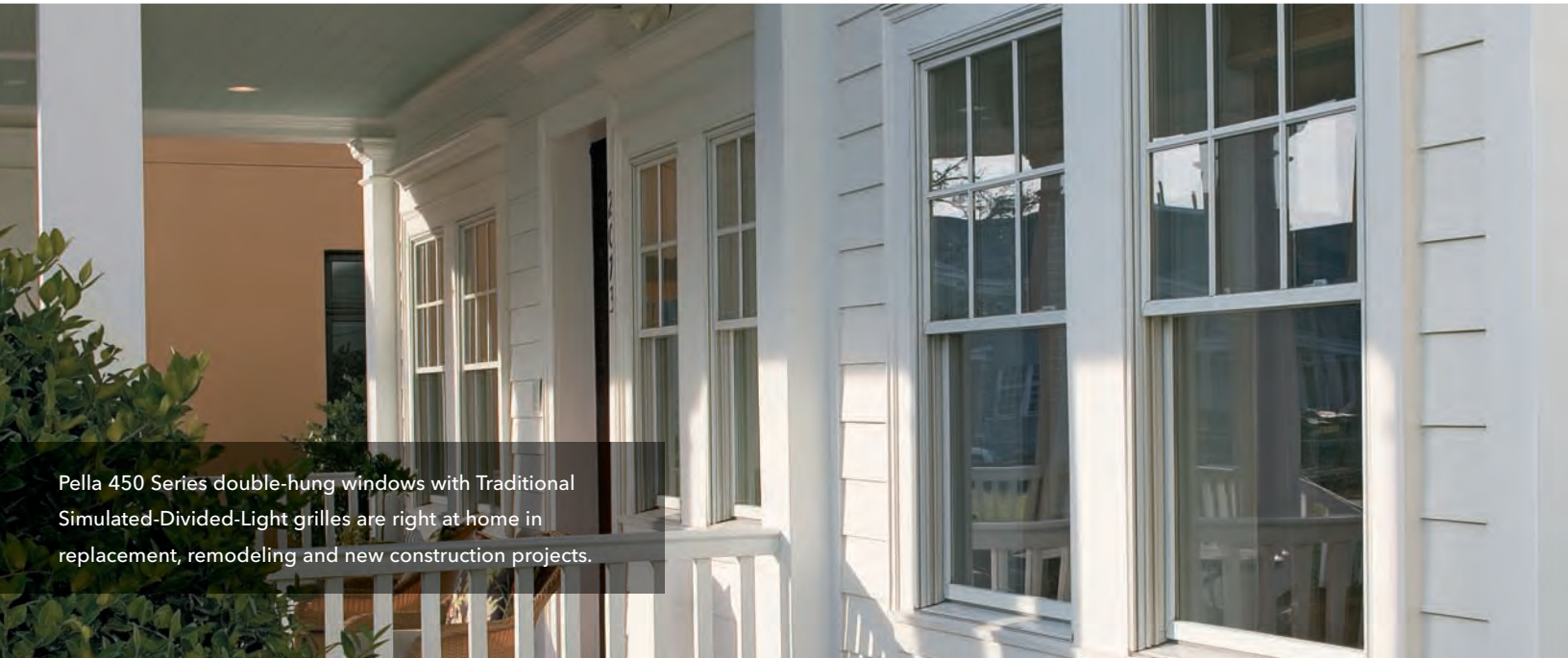
## Pella® 450 Series Wood Windows and Patio Doors



Come on in and explore windows and patio doors offering beautiful wood craftsmanship, exceptional energy efficiency and Pella's most popular choices – all at a competitive price.



Pella® 450 Series casement and fixed window combinations create a custom look without the custom price tag.



Pella 450 Series double-hung windows with Traditional Simulated-Divided-Light grilles are right at home in replacement, remodeling and new construction projects.



The Pine interiors of a Pella 450 Series sliding patio door surrounded by awning and fixed windows create a room that's as naturally beautiful as the view outside.

# WHY CHOOSE Pella® 450 Series

Wood Windows and Patio Doors

LOW-MAINTENANCE WOOD

Looks great year after year.

## PELLA QUALITY FEATURES

Beautifully crafted,  
priced competitively.

**Pella 450 Series products offer many of the features found on our premium wood lines and cost less.** You get beautiful wood interiors. Low-maintenance EnduraClad® exteriors. Fold-away casement window handles. A wide range of standard and special sizes, shapes and styles. And a choice of eight exterior cladding colors.

**Our most popular options.** Pella can stain, paint or prime the wood interiors of your Pella products for you. If you want the look of individual windowpanes, you can choose from several grille types and patterns.

## Beautiful, low-maintenance exteriors.

Our strong wood frames with aluminum-clad exteriors arrive with the added protection of our durable EnduraClad finish in the color of your choice.

## Exceptional wood protection.

Pella EnduraGuard® wood protection provides advanced protection against the effects of moisture, decay, stains from mold and mildew – as well as termite damage.





STYLE FOR LESS

Get a custom look at a standard price.

**The look of individual windowpanes to fit your home's style.** You have the choice of three distinctive grille types in a variety of patterns and finishes, including Simulated-Divided-Light grilles bonded to the interior and exterior glass, removable roomside wood grilles or permanent grilles-between-the-glass.

**They'll think you hired an architect.**

Special Shape windows and factory-assembled combinations of windows can make a unique design statement for less than the cost of a custom window.



EXCEPTIONAL ENERGY EFFICIENCY

Lower your heating and cooling costs.



**ENERGY STAR® performance.**

Pella® 450 Series windows and doors offer you the energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.\* You'll enjoy lower heating and cooling costs and a more comfortable home year round.

**The right glass choice for your climate.**

Pella's InsulShield® Low-E Glass Collection – featuring Pella's most innovative and energy-saving choices – is designed to fit a variety of specific needs.

\* Some Pella products may not meet ENERGY STAR guidelines in Canada. For more information, contact your local Pella sales representative or go to [energystar.gc.ca](http://energystar.gc.ca).

## PELLA® 450 SERIES WOOD WINDOWS

Our most popular styles are as beautiful as they are functional.



### Double-Hung Windows

Double-hung windows offer efficient ventilation – both upper and lower sashes open.

**Years of smooth, effortless operation.** Our Advanced Balance System helps ensure your window will open and close easily.

**A tighter seal against the elements.** Pella's cam-action locks pull the sashes against the weatherstripping. Goodbye, drafts!

**Easier cleaning.** Both sashes tilt in – making it easy to clean the exterior glass from inside your home. (Just another popular feature invented by Pella.)



### Casement and Awning Windows

Coveted for their clean, uncluttered views and effortless operation – they glide open and shut with the turn of one easy-to-operate handle.

**Years of smooth openings and closings.** Steel operating arms and hinges resist rust and corrosion.

**More convenient handle design.** Fold-away handle won't get in the way of roomside window treatments.

**Simple to operate.** Unison Lock System secures the window in two places with one easy-to-reach handle.

**Easier cleaning.** Sash moves toward the center, leaving room to clean the exterior glass from inside your home.



## Bay or Bow Windows

More than just windows, they're combinations of windows that reach out into the world and expand your living space and your view.

**The right fit for your home.** Pella offers bay or bow windows in a variety of standard and custom sizes and angles.\*

**Extra comfort and charm.** Pella® 450 Series bay or bow windows are available with beautiful wood headboards and cozy insulated seatboards.

**Easier installation.** Many Pella bay or bow windows come ready to be installed – so no extra time is needed for assembly.



## Combination, Fixed and Special Shape Windows and Doors

Window and door combinations are two or more windows or doors joined together to add character to your home's design.

**Mix and match.** Start with any Pella 450 Series window or patio door, then add more Pella 450 Series products next to, above or below it to create a combination that reflects your personal style.

**Create a custom look.** Assembling a variety of standard window styles makes a design statement for less than the cost of a custom window.

**Virtually endless design possibilities.** Special Shape windows are available in curves and angles to add architectural interest and natural light.

\* See your local Pella sales representative for details.



## PELLA® 450 SERIES WOOD PATIO DOORS

There's one to fit your home's style. And your lifestyle.



### Sliding Patio Doors

Since they don't swing, sliding patio doors require less floor space. From the dining room to the bedroom, they're the right fit because you can place furniture nearby.

**Easy operation.** Convenient thumblock allows you to open and close the door with one hand.

**Better draft protection.** Pella's unique design puts the sliding panel on the outside. So when the wind blows against it, it creates a tighter seal.

**Extra convenience.** The optional footbolt can hold the door open about 3" for ventilation.

**More light and a clearer view.** Optional top-hung sliding screen door is made from Pella's high-transparency InView™ screen\*.



### Hinged Patio Doors

Hinged patio doors swing open and closed to make coming and going easy.

**Stunning design and functional passages.** Choose one movable and one fixed door that can hinge from the center or a single door for simple elegance.

**Added security and peace of mind.** Advanced multipoint locking system secures the door at the top, middle and bottom for more peace of mind.

**More fresh air.** Optional hinged screen\* doors are available to match your patio door's EnduraClad® exterior finish color and feature Pella's high-transparency InView screen.

\* Warning: Use caution when children or pets are around open windows and doors. Screens are not designed to retain children or pets.

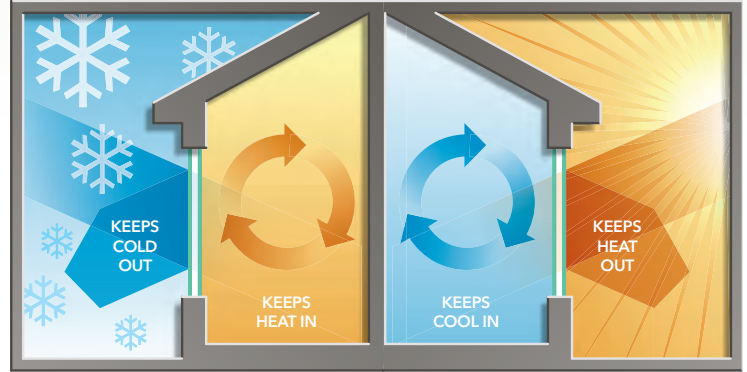
# PELLA HAS THE RIGHT GLASS FOR YOUR HOME

Increases your comfort. And helps reduce your heating and cooling costs.



## Low-E Glass Collection<sup>1</sup>

**Energy performance.** Pella's InsulShield® Low-E Glass Collection offers our most innovative and energy-saving choices – and is designed to meet a variety of specific needs. Whatever your climate, we make it easy to choose the glass that's just right for you.



**NaturalSun**  
Low-E Insulating  
Glass with Argon<sup>2</sup>



**AdvancedComfort**  
Low-E Insulating  
Glass with Argon<sup>2</sup>



**Advanced Low-E**  
Insulating Glass  
with Argon<sup>2</sup>



**SunDefense™**  
Low-E Insulating  
Glass with Argon<sup>2</sup>



### EXTREME COLD

**BEST USE:** Extremely cold climates. Provides excellent insulation to help keep the most extreme cold out, while allowing the sun's heat to flow in and warm your home.

- Two panes of glass with Low-E thermal protection and argon<sup>2</sup> between the panes. Blocks 69% of the sun's ultraviolet rays.

**BEST USE:** Northern U.S. climates. Unique Low-E technology delivers balanced insulation from colder winters and moderate summers.

- Two panes of glass with AdvancedComfort Low-E protection and insulating argon<sup>2</sup> between the panes. Blocks 85% of the sun's ultraviolet rays.

**BEST USE:** Most climates. A popular choice because it insulates well from the cold and heat.

- Two panes of glass with multiple layers of Low-E protection and argon<sup>2</sup> between the panes. Blocks 84% of the sun's ultraviolet rays.

### EXTREME HEAT

**BEST USE:** Hot, sunny climates. Allows in more visible light and provides a clear view, while helping to block the heat of the sun.

- Two panes of glass, multiple layers of Low-E solar protection and argon<sup>2</sup> between the panes. Blocks 94% of the sun's ultraviolet rays.

### ADDITIONAL ENERGY-EFFICIENT GLASS OPTIONS<sup>1</sup> FOR YOUR SPECIFIC NEEDS

#### Privacy

Obscure insulating glass is ideal for intimate spaces such as the bathroom or bedroom. The textured surface lets the sun shine in while obscuring the view.

#### Glare

Gray-, Green- or Bronze-tinted Advanced Low-E and Gray Low-E insulating glass with argon<sup>2</sup> provides effective glare control without the discomfort of heat-absorbing glass or the visual disruptions of highly reflective glass.

#### Safety

Tempered glass is four times stronger than regular glass, and if the glass fractures, it will break into very small particles, not sharp pieces.

Pella® 450 Series products offer the energy-efficient options that will meet or exceed ENERGY STAR® guidelines in all 50 states.<sup>3</sup>



<sup>1</sup> Glass options can be upgraded to offer the benefits of our InsulShield Low-E Glass Collection. Glass options may vary per product. See specific product information for availability.

<sup>2</sup> Optional high-altitude Low-E insulating glass does not contain argon in most products. Please see your local Pella sales representative for more information.

<sup>3</sup> Some Pella products may not meet ENERGY STAR guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gc.ca.

# FEATURES AND OPTIONS

Personalize your windows and doors with our most requested design choices.

Visit [pella.com/pella-450-series](http://pella.com/pella-450-series) to see the complete list of features and options available on Pella® 450 Series products.

## ENDURACLAD® ALUMINUM EXTERIOR FINISHES

### Standard



White

Tan

Brown

### Feature



Poplar White

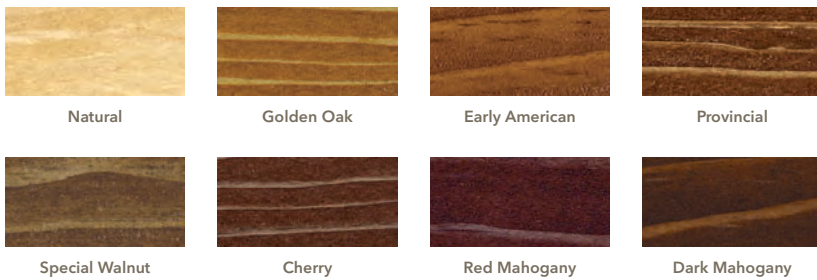
Putty

Hartford Green

Brick Red

Black

## PREFINISHED PINE INTERIORS



Natural

Golden Oak

Early American

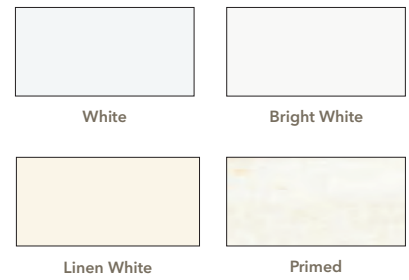
Provincial

Special Walnut

Cherry

Red Mahogany

Dark Mahogany



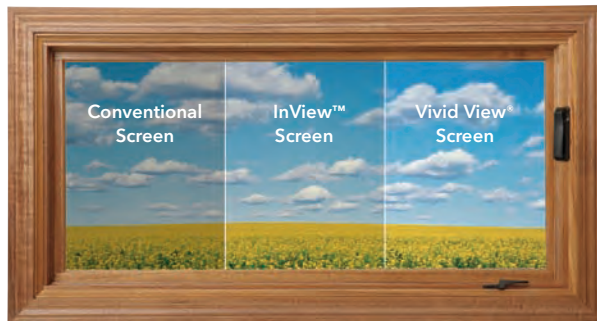
White

Bright White

Linen White

Primed

## SCREENS<sup>1</sup>



Vivid View screens allow in 29% more light and 21% more airflow.<sup>2</sup> InView screens let in 14% more light and 8% more airflow<sup>2</sup> – plus, they're the standard option on all Pella 450 Series wood windows and patio doors.

## HARDWARE



Double-Hung Window Sash Lift

Double-Hung Window Cam-Action Sash Lock

Casement and Awning Fold-Away Window Crank

Sliding Patio Door Handle

Hinged Patio Door Handle

### Hardware Finishes



Hinged patio door hardware not available in Champagne and White.

<sup>1</sup> Warning: Use caution when children or pets are around open windows and doors. Screens are not designed to retain children or pets.

<sup>2</sup> Screen cloth airflow is based on calculated screen cloth openness. Screen cloth transmittance was measured using an integrated sphere spectrophotometer.

<sup>3</sup> On hinged patio doors, Endura Hardware Collection offers superior corrosion resistance with a 10-year warranty. See written warranty for complete details at [pella.com/warranty](http://pella.com/warranty).

<sup>4</sup> Oil-Rubbed Bronze is a living finish that will develop its own unique patina with use.



## Pella® 450 Series Features and Options



### GLASS

#### InsulShield® Low-E Glass Collection

Advanced Low-E insulating glass with argon*	O
AdvancedComfort double-pane glass with argon*	O
SunDefense™ Low-E insulating glass with argon*	O
NaturalSun Low-E insulating glass with argon*	O

#### Additional Energy-Efficient Glass Options

Clear insulating glass with argon*	O
Gray-, Bronze- or Green-tinted glass with argon**	O
Obscure glass*	O

\* Optional high-altitude InsulShield Low-E insulating glass does not contain argon.

\*\* Not available with blinds-between-the-glass on sliding patio doors.

### EXTERIOR/INTERIOR FINISHES

EnduraClad® aluminum exterior	S
Unfinished Pine interior	S
Prefinished paint or primed interior	O
Prefinished stain (Pine)	O

### ENDURA CLAD EXTERIOR COLORS

Standard colors (White, Tan or Brown)	S
Feature colors	O*

\* Available in Poplar White, Putty, Hartford Green, Brick Red or Black only.

### HARDWARE FINISHES

#### Windows and sliding patio doors

Champagne, White or Brown	S
Bright Brass*, Satin Nickel* or Oil-Rubbed Bronze**	O
Exterior handle matches EnduraClad exterior finish color (patio doors)	S

#### Hinged patio doors

Bright Brass*	S
Brown, Satin Nickel*, Oil-Rubbed Bronze**, Antique Brass or Chrome	O

\* Endura Hardware Collection on hinged patio doors offers superior corrosion resistance with a 10-year warranty. See written warranty for complete details at [pella.com/warranty](http://pella.com/warranty).

\*\* Oil-Rubbed Bronze is a living finish that will develop its own unique patina with use.

### SASH LOCKS/SASH LIFTS

Surelock® System with Unison Lock System* (casement and awning windows)	S
Cam-action locks (double-hung windows)	S
Sash lifts (sold separately for double-hung windows)	O

\* Unison Lock System is standard on casement and awning windows over 29" tall or wide, respectively. Dual sash locks and lifts are standard on large windows.

### EASY-CLEAN FEATURES

Clean exterior glass from inside (casement, awning and double-hung windows)	S
Both sashes tilt at the bottom (double-hung windows)	S

### HINGES

Match handle finish color (in-swing doors)	O
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### LOCKING SYSTEM

Hinged patio door multipoint locking system	S
Sliding patio door single-point locking system	S

### PERMANENT GRILLES\*

7/8" Simulated-Divided-Light grilles (wood roomside and EnduraClad exterior)	O
3/4" aluminum grilles-between-the-glass**	O

\* Grille patterns offered may vary per product. See your local Pella sales representative for availability.

\*\* Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

### REMOVABLE GRILLES\*

3/4" grilles (wood roomside only, no exterior)	O
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\* Grille patterns offered may vary per product. See your local Pella sales representative for availability.

### SCREENS\*

#### Window

InView™ flat screen	S
Vivid View® high-transparency flat screen	O

#### Hinged patio door

Exterior InView flat screen door (matches exterior color)	O
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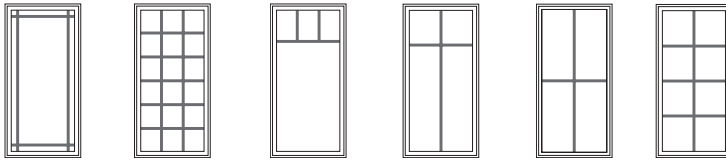
#### Sliding patio door

Top-hung InView flat screen door	O
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\* Warning: Use caution when children or pets are around open windows and doors. Screens are not designed to retain children or pets.

(S) Standard (O) Optional

### GRILLE PATTERNS



9-Lite Prairie

Traditional

Top Row

Cross

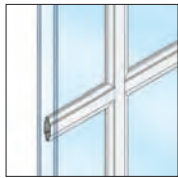
Custom (equally divided)

### GRILLE TYPES

#### Permanent

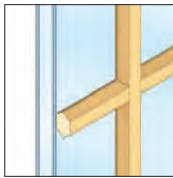


7/8" Simulated-Divided-Light Grilles



3/4" Aluminum Grilles-Between-the-Glass

#### Removable



3/4" Roomside Wood Grilles

### GRILLES-BETWEEN-THE-GLASS INTERIOR COLORS<sup>5</sup>



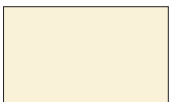
White



Tan<sup>6</sup>



Brown<sup>6</sup>



Ivory



Harvest



Cordovan



Brickstone

<sup>5</sup> Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

<sup>6</sup> Only available with same colors on interior and exterior.