

9/15/2020

CERTIFICATE OF APPROPRIATENESS

Greg Tittle
Tittle Brothers Construction
15720 Fort Street
Southgate, MI 48195

RE: Application Number 20-6835; 515 Parkview Drive, Berry Subdivision Historic District

Dear Mr. Tittle,

At the regularly scheduled meeting held virtually on September 9, 2020, the Detroit Historic District Commission ("Commission") reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of September 15, 2020.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior's Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

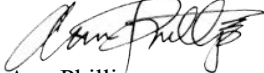
- **Demolish existing 8'W x 3'D front porch and (3) steps in their entirety and replace with a new porch.**
- **Perform the following general repairs:**
 - Remove existing wood gutter located at the right (north) roofline of the front façade
 - Remove and replace damaged wood at southern most windows and sills at second floor of right (north) bay.
 - Remove and replace a few pieces of cedar siding at left (south) bay.
 - Replace broken glass in window located on left (south) elevation.

With the following conditions:

- New aluminum railings are to be black in color
- Any general repairs that include replacement of existing/historic material should be replaced in-kind to match existing material, design, dimension, color, and finish.
- The deck of the reconstructed porch must be 8'W x 3'D in size to match the size of the deck of the existing porch.
- The applicant shall revise the submission to reflect the updated railing and submit to HDC staff for review and approval prior to pulling the building permit for the project.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Ann Phillips
Staff

Detroit Historic District Commission

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

CITY OF DETROIT
PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVENUE, ROOM 808, DETROIT, MI 48226

DATE: _____

PROPERTY INFORMATION

ADDRESS: 515 Parkview AKA: _____

HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input checked="" type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input checked="" type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

APPLICANT IDENTIFICATION

Property Owner/
Homeowner Contractor Tenant or
Business Occupant Architect/Engineer/
Consultant

NAME: Greg Tittle COMPANY NAME: Tittle Brothers Construction

ADDRESS: 15720 Fort St CITY: Southgate STATE: MI ZIP: 48195

PHONE: 734-225-2525 MOBILE: _____ EMAIL: wradke@tittlebrothers.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application (highlighted portions only)
- ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)
- Photographs of ALL sides of existing building or site
- Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions (including materials and design)
- Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work (formatted as bulleted list)
- Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO **HDC@DETROITMI.GOV**



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Phone: (734) 225-2525
Fax: (313) 382-3458

ROOFING • SIDING • WINDOWS • CHIMNEYS • MASONRY • PORCHES • GUTTERS • ADDITIONS

TO Cynthia Bradford	REFERRED BY Pc	CELL PHONE 313-204-8368	DATE & TIME 5-1-20
515 Parkview Dr		JOB NAME / LOCATION Front porch concrete wood repairs	
Detroit Michigan		EMAIL ADDRESS cynlynbrad@yahoo.com	

We hereby submit specifications and estimates for:

Demo existing porch and old concrete in front of porch and railings
 Install new footings to prep for new porch size 10x5 and new step footings to prep 5" steps to code
 Build new porch base with bricks to match size on home as close as possible. Color tbd
 Steps: Brick Steps 5' with limestone treads to code Orange wire cut
 21AA Base and Re-rod 12" on center
 4" cap cement
 New sidewalk from porch to new concrete
 All concrete broom Finish
 State and city code apply
 Clean up all work related debris and haul away
 Taxes, permits, inspections, and discounts included
 Payment Plan: 1/3 down ,1/3 when ready for inspection, 1/3 when completed

Install new r 1000 aluminum railings and down railings white
 Front right upper side of home old wood gutter remove and replace to match existing as close as possible. Seal complete area
 Remove and replace damage wood around upper right side of home left window and sill just below also remove and replace a few damaged pieces of wood siding cedar and on left bay.
 No paint included
 Old service replace broken window glass on left side of home
 Home is in a historical district

We Propose hereby to furnish material and labor – complete in accordance with the above specifications, for the sum of: _____ dollars (\$ 23000.00).

Payment to be made as follows:

Service financial loan number 2486358 \$10000.00 No warranty on concrete 5 year warranty porch
 9.9% annual rate \$150.67 per month base railings and carpenter work for wood gutter
 Studz hardware

GENERAL TERMS AND CONDITIONS

The above stated Customer ("Customer") agrees to the terms set forth above and to the Terms and Conditions set forth below and on the reverse side hereof as the agreement between Customer and Tittle Brothers Construction, L.L.C. ("Tittle Brothers") referred to as the "Agreement."

Payment: Customer shall pay the entire balance due and any other portion of the project that remains unpaid upon completion of the work described herein. Customer agrees that all materials, equipment or any other property for the project, wherever located, including, installed at the location directed by Customer, shall remain the sole and exclusive property of Tittle Brothers and title to such property shall only transfer upon full payment received by Tittle Brothers. In the event Customer fails to make full and timely payment, Tittle Brothers, in addition to all other remedies provided by law, shall have the right to file a lien against Customer's real property or the real property where such work on the project was performed, to the extent of all amounts owed under this Agreement. Tittle Brothers shall be entitled to reimbursement by Customer of reasonable costs and expenses incurred for enforcement of this Agreement, including, without limitation, reasonable attorney fees. All Deposits are non-refundable. No modification, changes, additions or alteration of this Agreement shall be deemed effective unless in writing signed by the Customer and Tittle Brothers.

Condition: This Agreement is expressly conditioned upon Customer's signature and acceptance by Tittle Brothers by written acknowledgment below.

Customer's Signature <i>Cynthia Lynette Bradford</i>	Date 5-1-20
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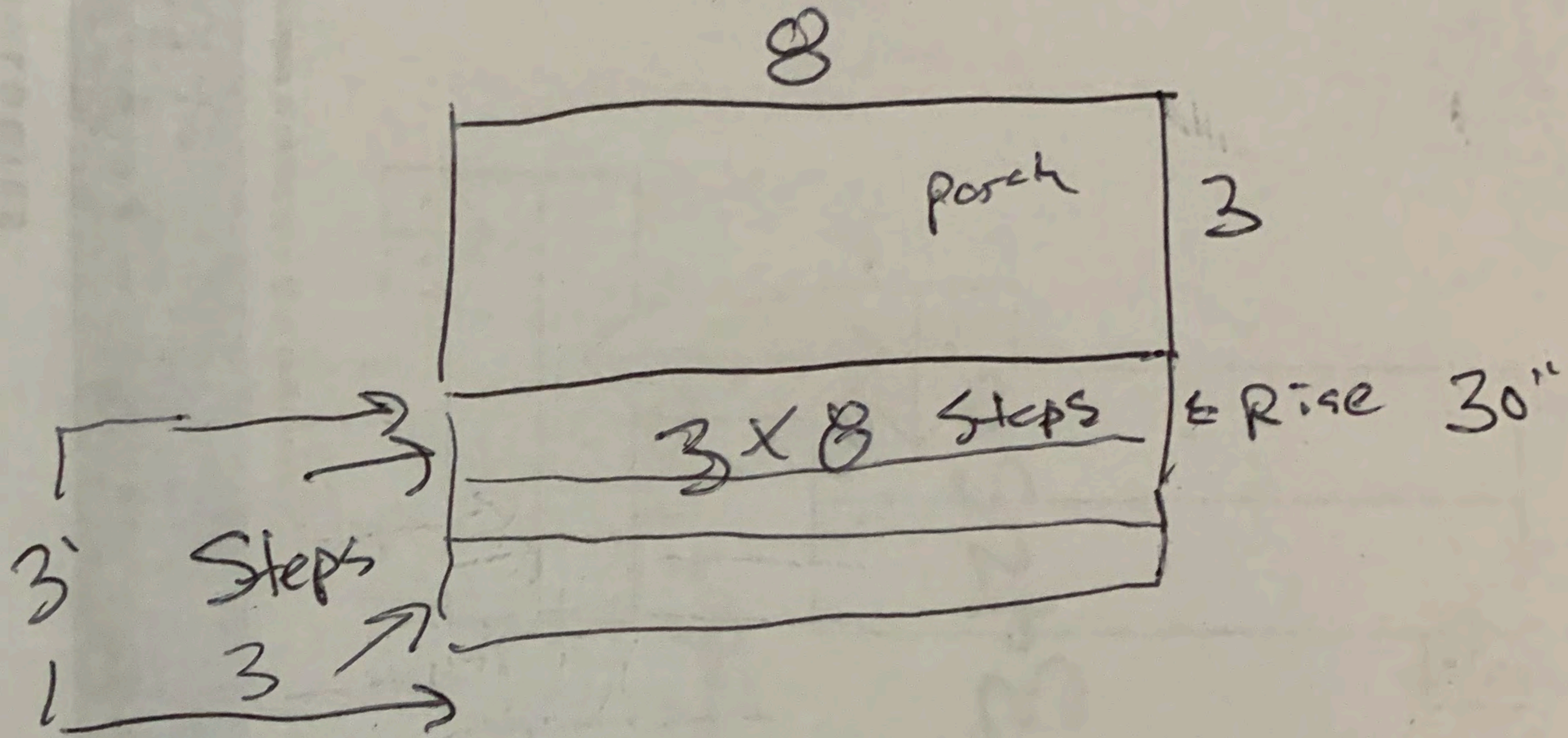
Tittle Brothers' Representative Signature <i>Pat Sheffer</i>	Date 5-1-20
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You, the buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. See the attached notice of cancellation form for an explanation of this right. Additionally, the seller is prohibited from having an independent courier service or other third party pick up your payment at your residence before the end of the 3-business-day period in which you can cancel the transaction.

ADDITIONAL GENERAL TERMS AND CONDITIONS CONTINUED ON BACK

Cynthia Bradford.

515 Parkview Dr
Existing Porch
Detroit, MI



17	Cynthia Bradford	5/1/2020 5:47
16	May-02-2020-21:34:06-EDT-0400.jpg	5/12/2020 9:33

Cynthia Bradford
 515 Parkview Dr
 Detroit, MI

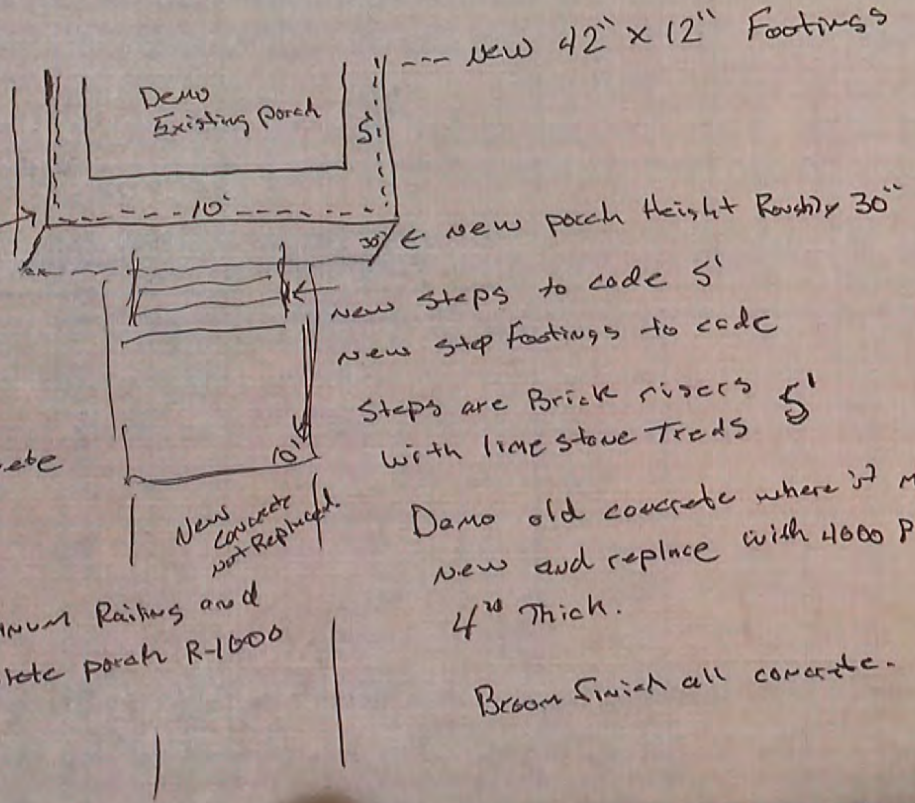
NEW Porch 10x5

Outside porch Base
 Build a new porch base
 with Bricks to match
 as close as possible
 Orange wire cut

Inside porch Base
 1/2 Block

Install new porch
 cap 4000 psi concrete
 4" Thick

Install new Aluminum Railing and
 Down rails for complete porch R-1000
 white.



new 42" x 12" Footings
 new porch Height Roughly 30"
 new steps to code 5'
 new step footings to code
 Steps are Brick risers 5'
 with limestone Treads

Demo old concrete where it meets
 new and replace with 4000 psi
 4" Thick.

Broom Finish all concrete.

Files

Opportunities > Cynthia Bradford - Detroit Porch

17 Items - Sorted by Last Modified - Updated a minute ago

Title Owner Last Modified

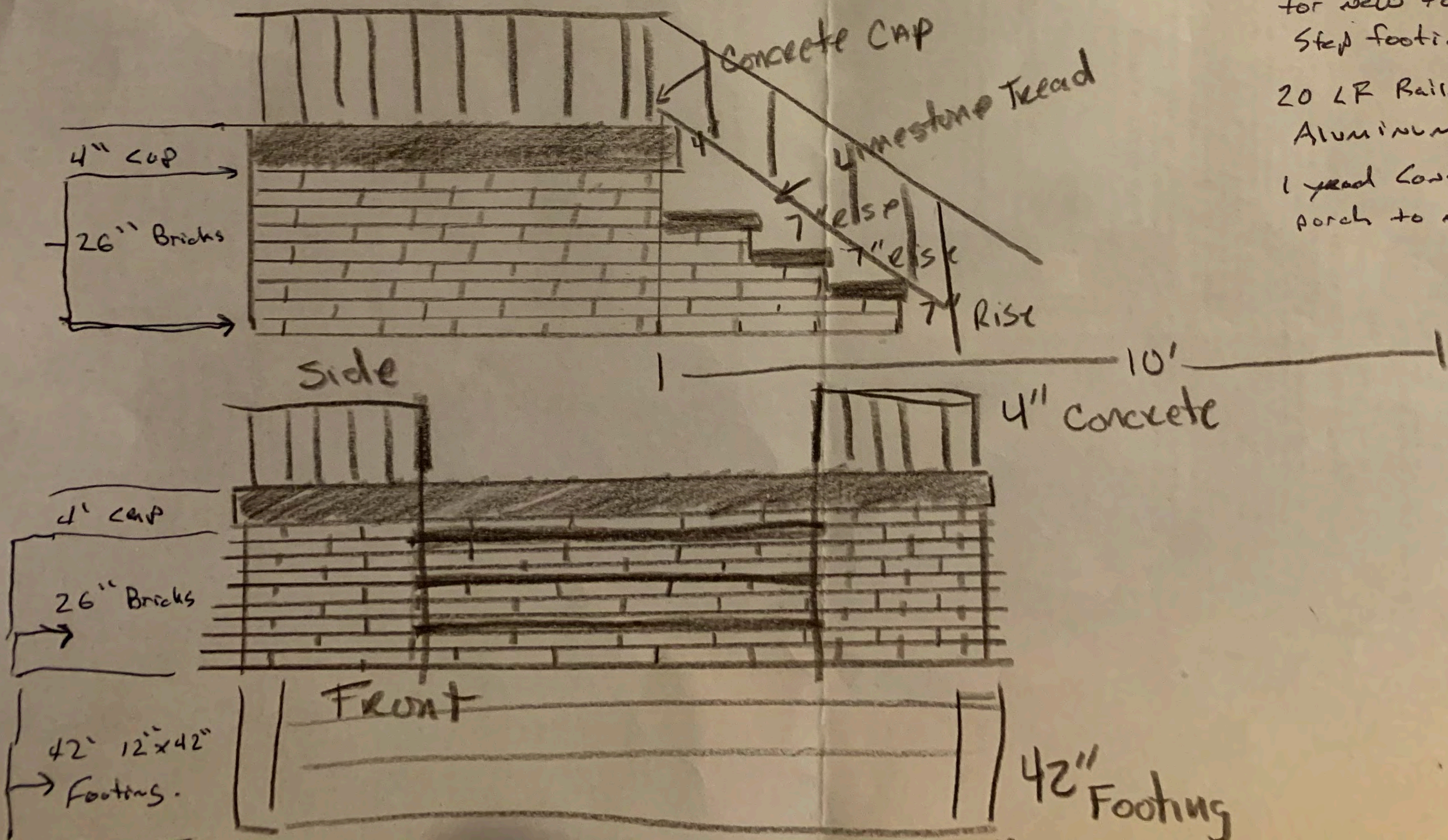
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Navigation: Add Files (navigationLocation=RELATED_LIST)

Cynthia Bradford
 515 Parkview Dr
 Detroit MI
 313-204-8366

Material List

- 450 Bricks.
- 3 Bags of Mortar
- 60 4x16 Block
- 15' Limestone for step treads
- 1/2 yard Crushed Rock 21AA
- 70 LF 3/8" Re Rod
- 50 SF concrete porch cap
- 3.5 yards of concrete for new footings and step footings
- 20 LF Railings + Downrails Aluminum white.
- 1 yard concrete from new porch to new concrete.



Material List

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Aluminum white.

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P
stone Tread

sk

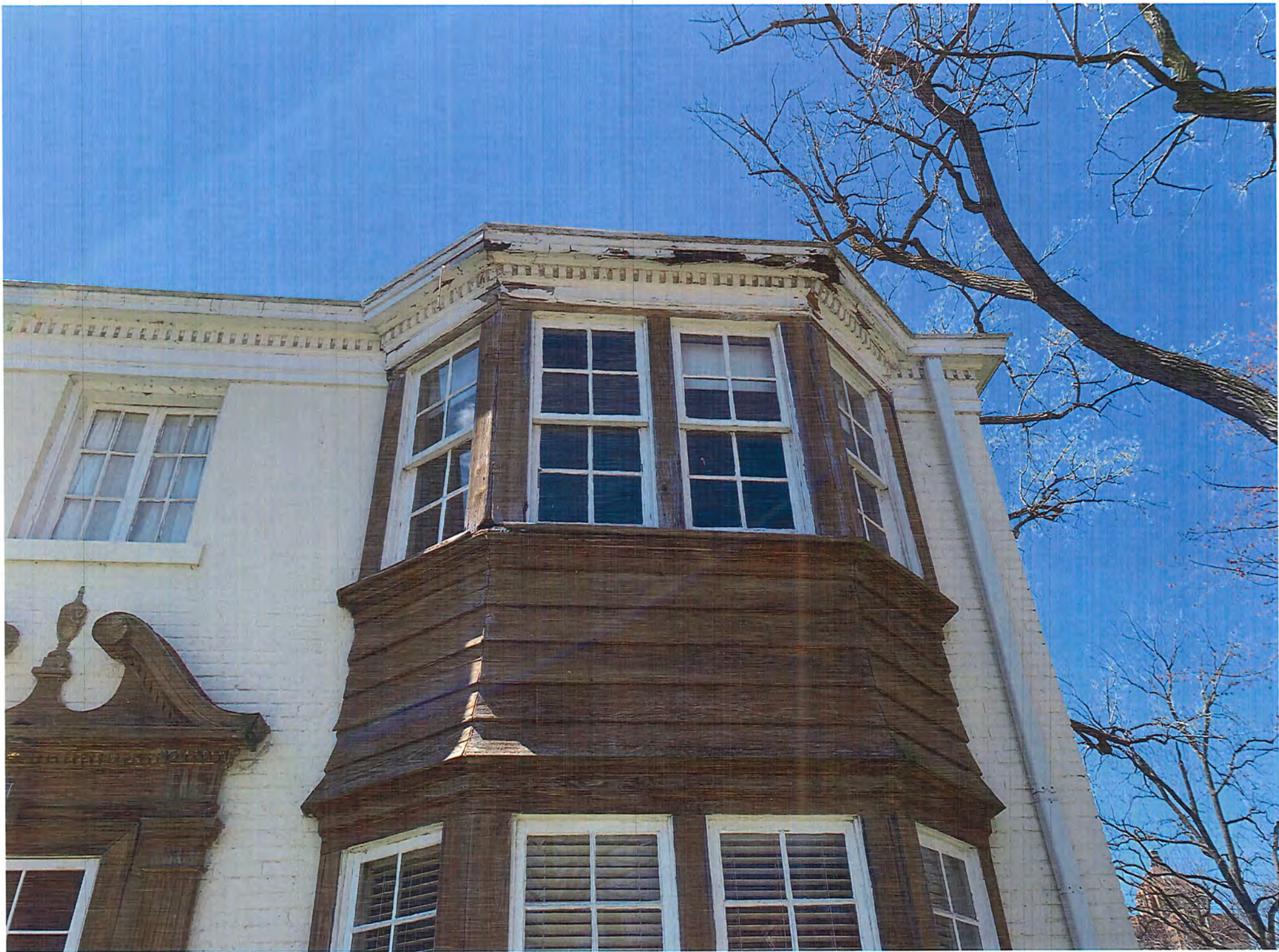








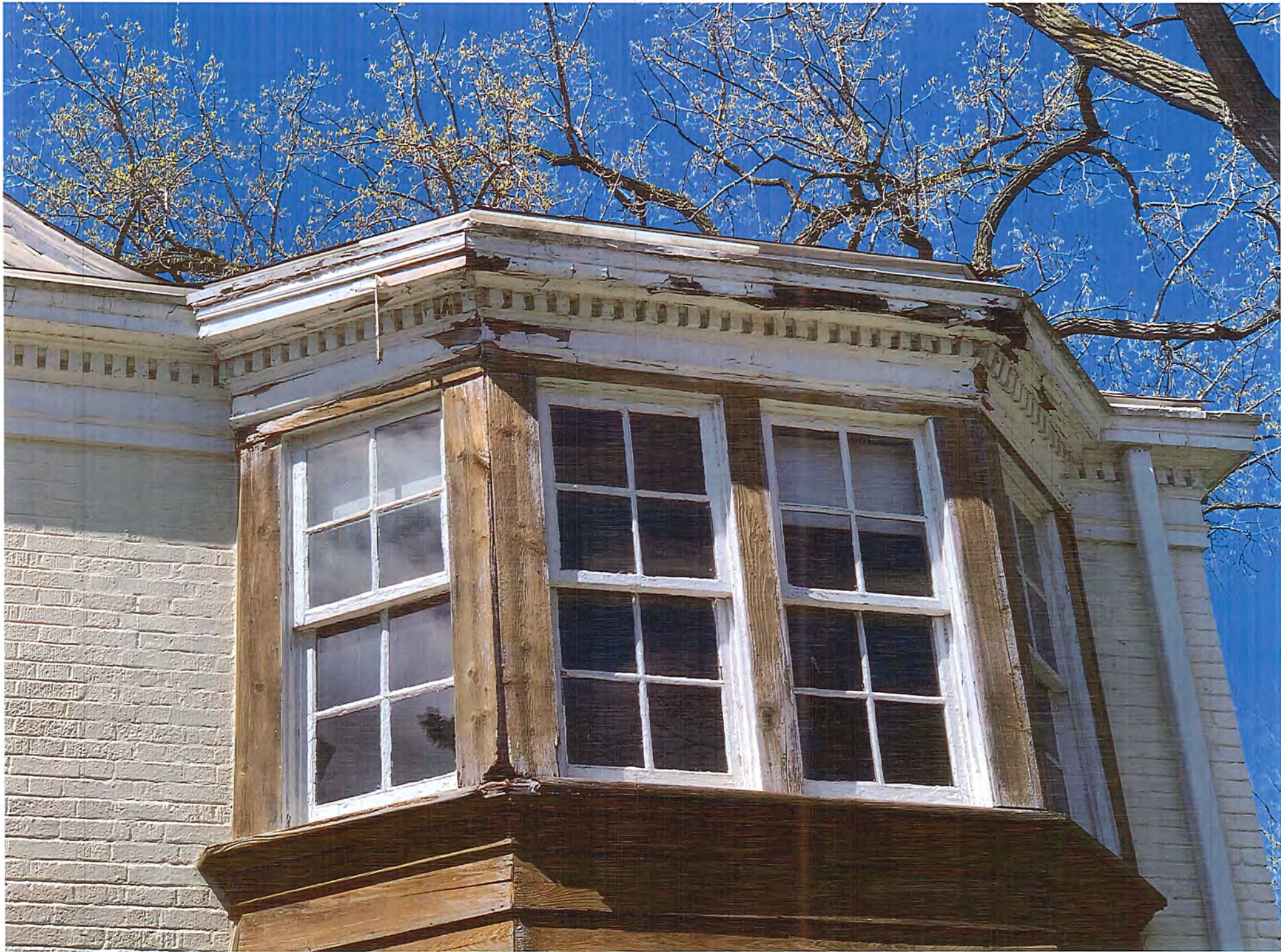


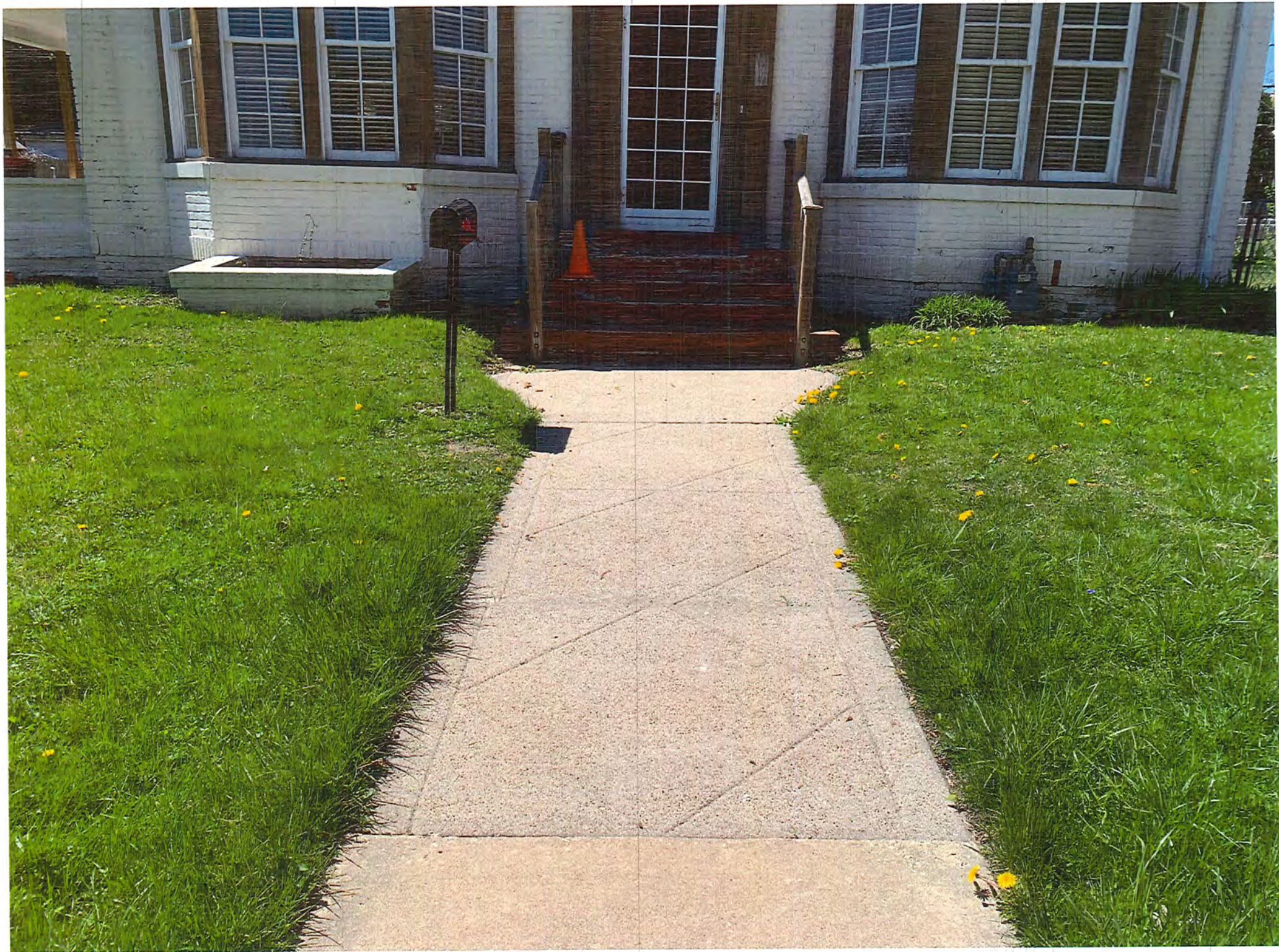


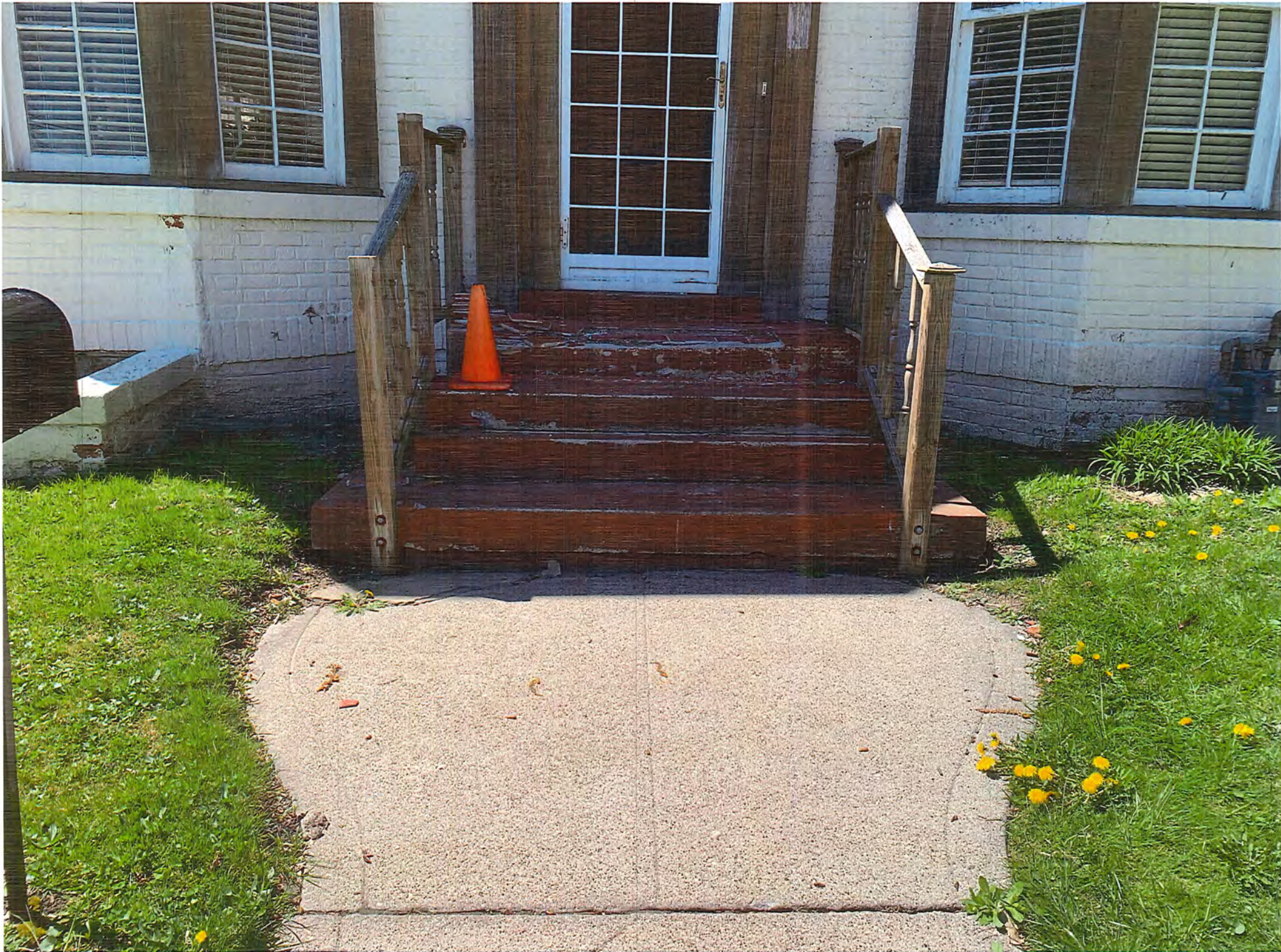










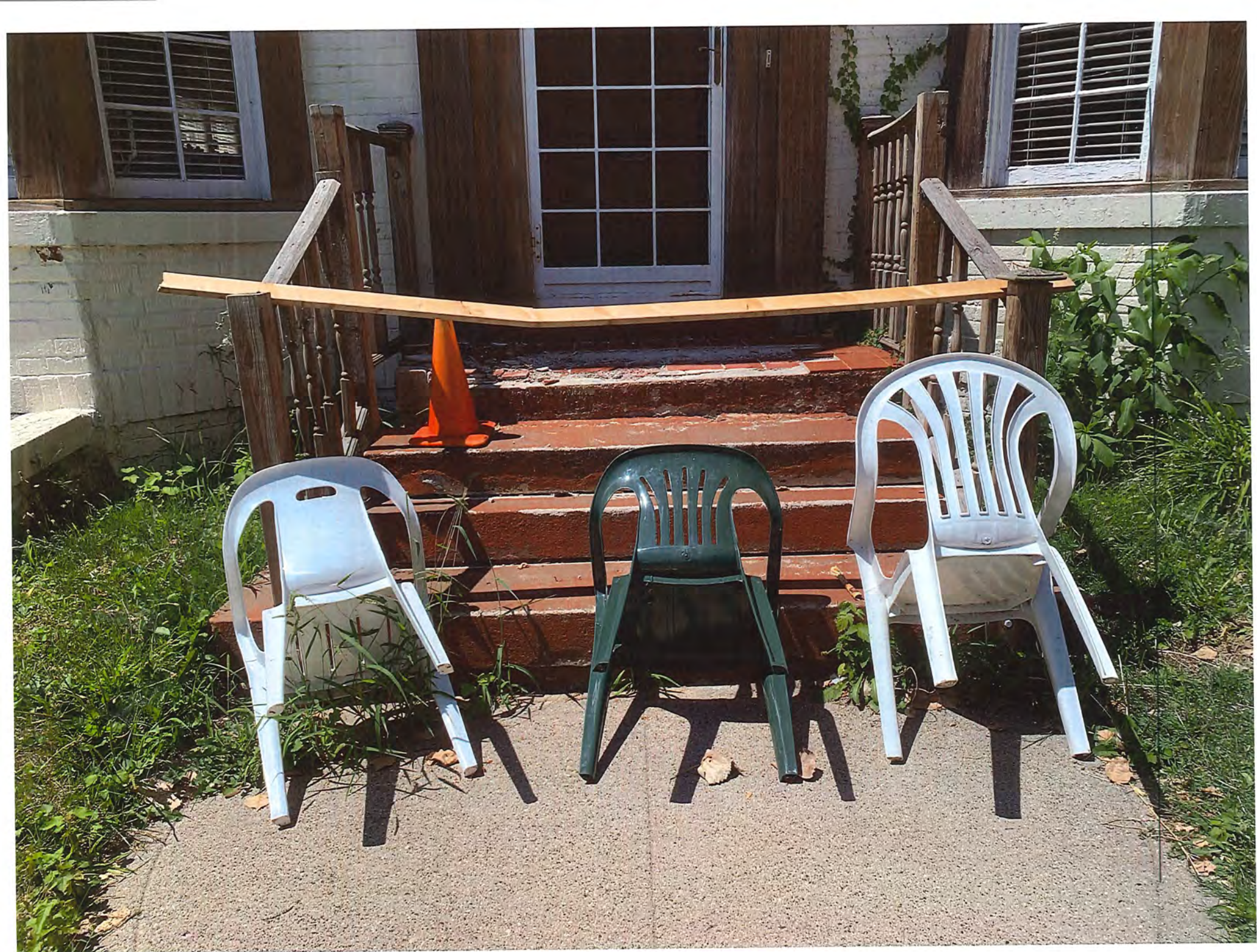














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16  May-02-2020-21:34:06-EDT--0400.jpg (lightning/r/ContentDocument/0693I00000FHEIRAAX/view)	Peter Theofanopoulos (lightning/r/0051N0000065DJVQA2/...)	5/2/2020 9:3
17  Cynthia Bradford (lightning/r/ContentDocument/0693I00000FHEFPAA5/view)	Tamie Moss (lightning/r/0051N0000065DFIQAM/view)	5/1/2020 5:4



Image capture: Jun 2019 © 2020 Google

Detroit, Michigan



Street View



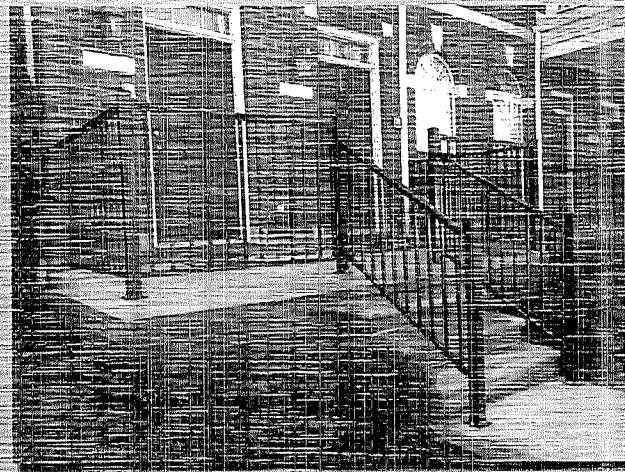
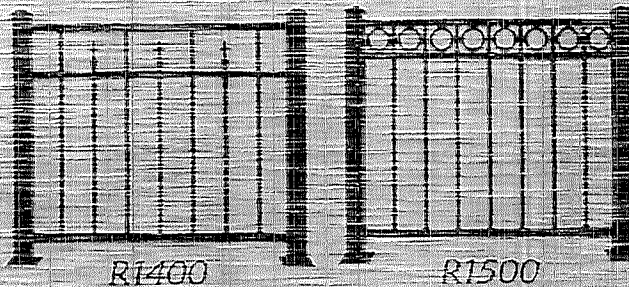
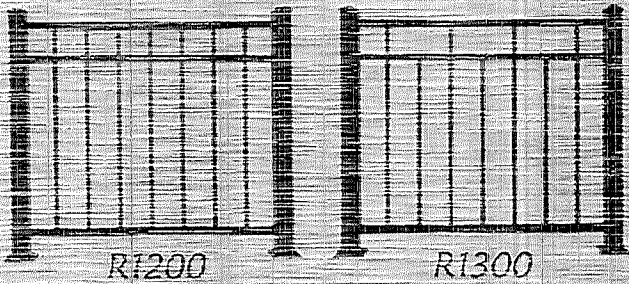
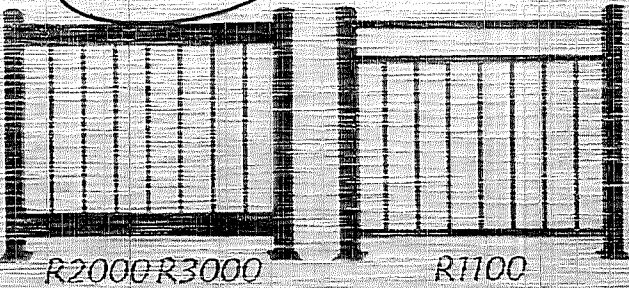
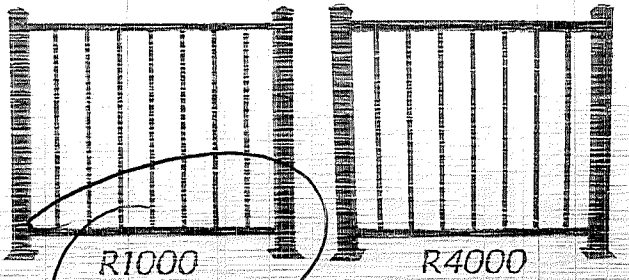
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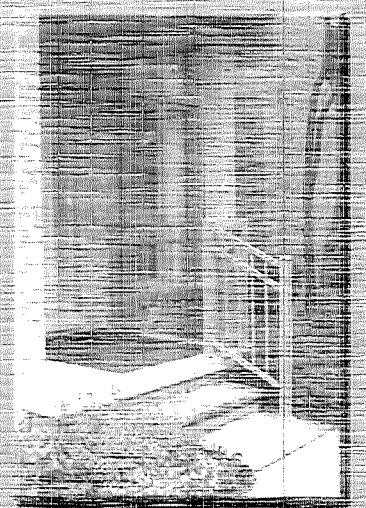
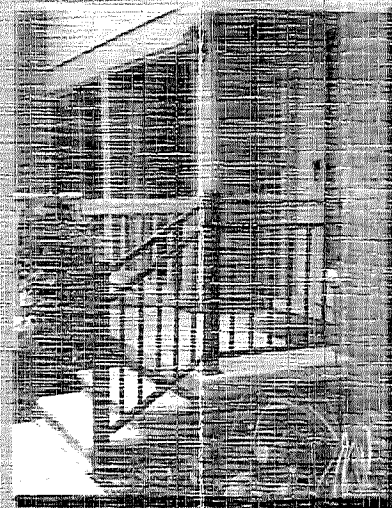
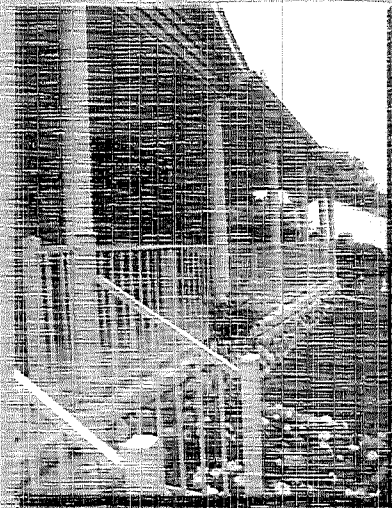
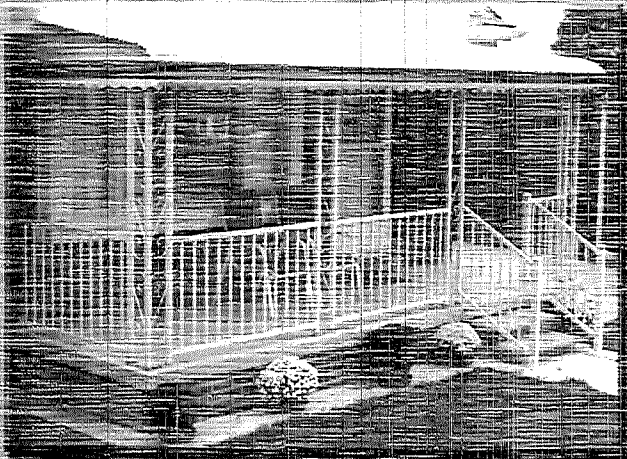
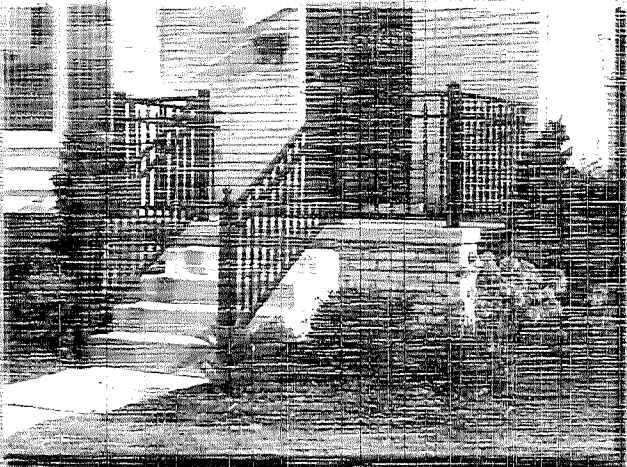
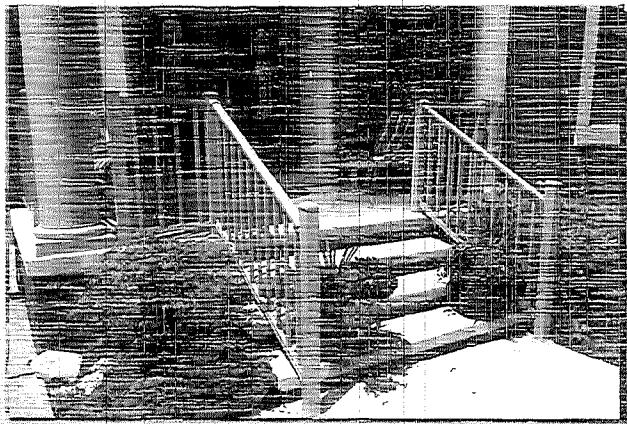
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Buildings, Safety Engineering
& Environmental Department

City of Detroit
Buildings, Safety Engineering and Environmental Department
Licensing and Permits Division
Coleman A. Young Municipal Center
2 Woodward Avenue, 4th Floor, Suite 402, Detroit, Michigan 48226
(313) 224-3202 and (313) 224-3168

INVOICE

RECORD INFORMATION

Applicant: Title Brothers Construction
15720 FORT ST
SOUTHGATE, MI 48195

Record ID: BLD2020-02379

Record Type: Building Permit Application

Property Address: 515 PARKVIEW , # 48214

Description of Work: TBD

Invoice No. : 5753606
Invoice Date: 07/15/2020
Due Date : **08/14/2020**

FEE DETAIL

Fee Description	Quantity	Fee Amount
Building Permit Fee	1	\$570.00
		\$570.00