

# Welcome to the **MICHIGAN & CHURCH STREET PROJECT**

## **COMMUNITY BENEFITS MEETING**



DEPARTMENT OF  
**Planning &  
Development**

© ELKUS MANFREDI ARCHITECTS

**CBO Meeting #4 – April 15, 2021**

# **AGENDA**

**Historic District Commission Process**

**NAC Q & A for City Departments**

**Neighborhood Advisory Council (NAC) Engagement Process  
& Community Input**

**Storage Building Scenarios**

**NAC Q & A**

**General Q & A**

# COVID-19 VACCINE INFORMATION

## Moderna/Pfizer Vaccines at All City Locations

TCF Center / M-F 9 a.m.-6 p.m.

Northwest Activities Center / M-F 9 a.m.-1 p.m.

Let's Get Vaccinated Detroit!

## COVID-19 VACCINES IN YOUR NEIGHBORHOOD.

The school sites for week of April 19 are listed. The clinics will run from 9am to 5pm.

**MONDAY, APRIL 19**  
**Henry Ford High School**  
20000 Evergreen, Detroit 48219

**MONDAY, APRIL 19**  
**Western High**  
1500 Scotten Avenue, Detroit 48209

**WEDNESDAY, APRIL 21**  
**Brenda Scott Academy**  
18440 Hoover St., Detroit, 48205

**FRIDAY, APRIL 23**  
**East English**  
5020 Cadieux, Detroit, 48224

## Community Saturdays

9 a.m. - 1 p.m.

Fellowship Chapel  
7707 W. Outer Drive

Second Ebenezer  
14601 Dequindre Road

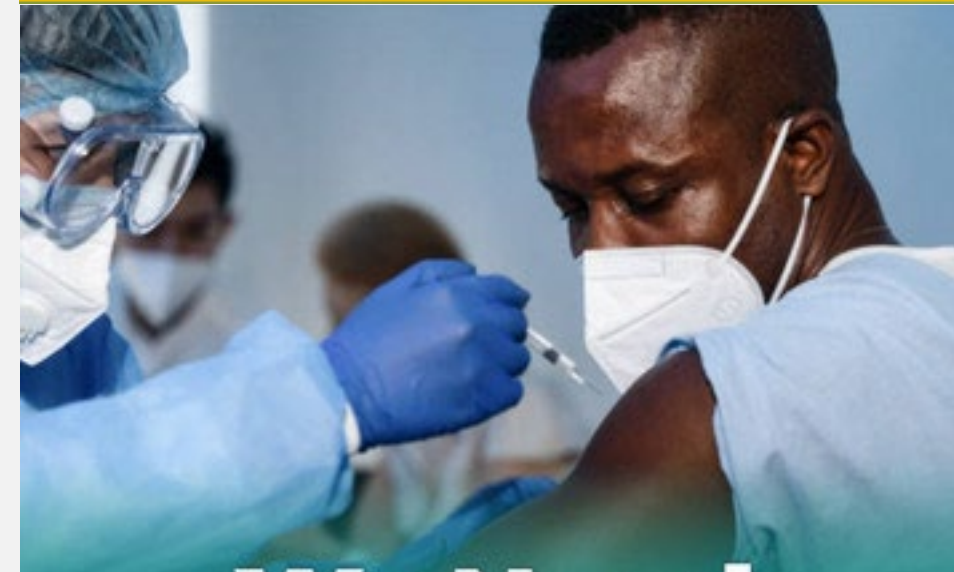
Greater Grace Temple  
23500 W. Seven Mile Road



Find the 3 closest  
COVID-19 vaccine  
locations

Text your  
address to

**(313) 217-3732**



**We Need  
Your Help!**

**128,000**

Detroiters have  
been vaccinated in  
three months

If you've gotten  
your vaccine, share  
your story with  
your friends and  
neighbors.

CALL **(313) 230-0505**

FOR APPOINTMENT

**VACCINE QUESTIONS?**  
Call DHD at **313-876-4000**

# **NEIGHBORHOOD ADVISORY COUNCIL (NAC)**

- . **Debra Walker** - Elected by Impact Area Residents
- . **Hilliard Hampton III** - Elected by Impact Area Residents
- . **Taurean Thomas** - Appointed by Council President Brenda Jones
- . **Brandon Lockhart** - Appointed by Council Member Janeé Ayers
- . **Dorothy Bennick** - Appointed by Council Member Raquel Castañeda-López
- . **David Esparza** - Appointed by Planning & Development
- . **Brian Moore** - Appointed by Planning & Development
- . **Maggie Shannon** - Appointed by Planning & Development
- . **Bob Roberts** - Appointed by Planning & Development
- . **Kevin Pines** - Alternate

# CBO PROCESS – MEETING SCHEDULE

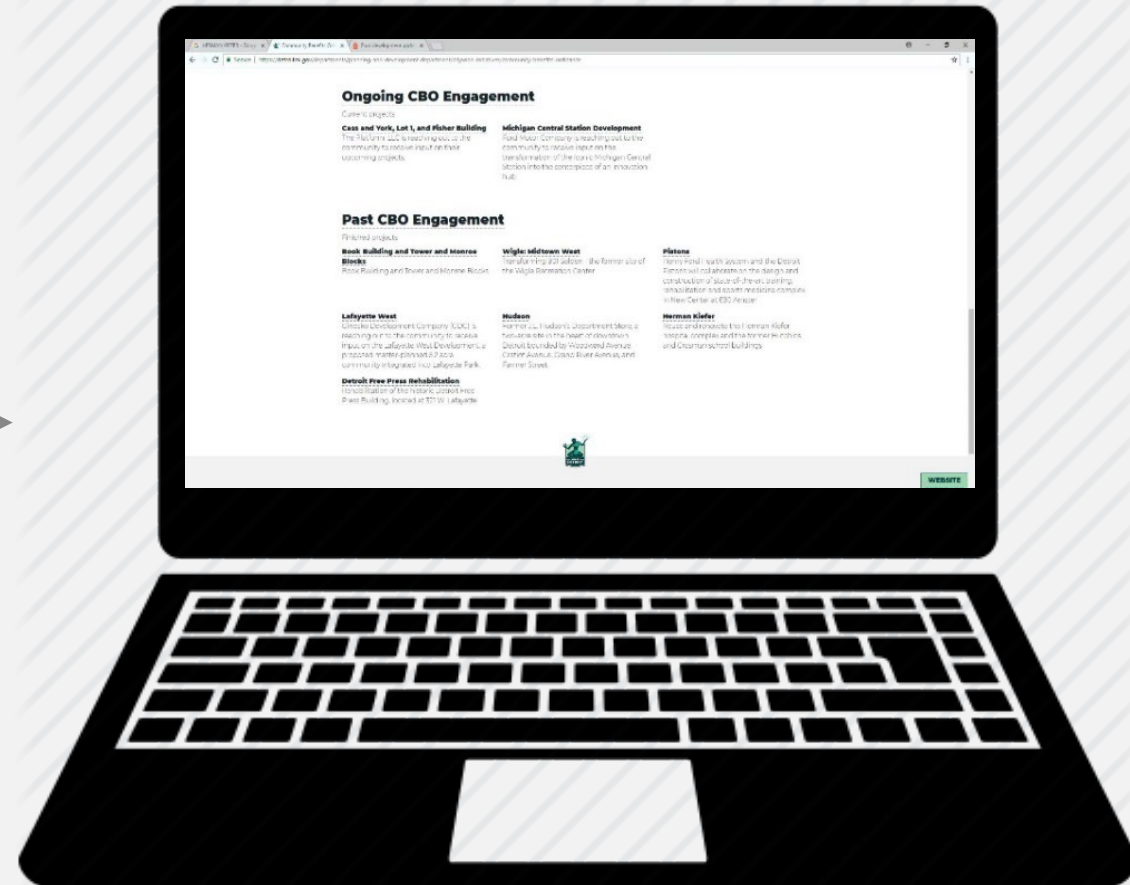
\*Please note that this schedule may change. Updates will be provided through email list and at [www.detroitmi.gov/michigan-church](http://www.detroitmi.gov/michigan-church)

MICHIGAN & CHURCH STREET PROJECT CBO SCHEDULE												
Meetings	March 2021					April 2021				May 2021		
	WK 1	WK 2	WK 3	WK 4	WK 5	WK 6	WK 7	WK 8	WK 9	WK 10	WK 11	WK 12
<b>Meeting 1 - Introduction to CBO</b>	11-Mar											
<b>Meeting 2 - NAC Selection (2 members selected by the public)</b>		18-Mar										
<i>Bye Week - City Selection Week + NAC Orientation</i>			No Mtg									
<b>Meeting 3 - Developer Project Presentation to NAC</b>				1-Apr								
<i>Bye Week - NAC Drafts Project Impacts &amp; Community Benefits</i>					7-Apr: NAC Meeting	14-Apr: NAC Meeting						
<b>Meeting 4 - NAC Presents Project Impacts &amp; Community Benefits</b>						15-Apr						
<i>Bye Week - NAC Finalizes Project Impacts &amp; Community Benefits</i>							20-Apr: NAC Meeting					
<b>Meeting 5 - Developer Presents Responses to Community Benefits</b>								29-Apr				
<i>Bye Week - NAC Prepares Letter of Consensus</i>									No Mtg			
<b>Meeting 6 - Cont. Developer / NAC Discussion (if required)</b>										13-May		

# THROUGHOUT THE PROCESS

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**[WWW.DETROITMI.GOV/MICHIGAN-CHURCH](http://WWW.DETROITMI.GOV/MICHIGAN-CHURCH)**



**YOU CAN ALSO [SUBSCRIBE TO EMAIL UPDATES](#) ON THE WEBSITE**

**Detroit Historic District  
Commission Process –**  
*Garrick Landsberg, Director of  
Historic Preservation*

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# **Neighborhood Advisory Council (NAC) Q & A for City Departments**

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**Neighborhood Advisory Council  
(NAC) Engagement Process &  
Community Issues**

# **NAC ENGAGEMENT AND MEETINGS**

## **NAC Efforts Since CBO Meeting on April 1<sup>st</sup>**

- **Requested and received information / resources from the City and developer. All documents are being posted at [www.detroitmi.gov/Michigan-church](http://www.detroitmi.gov/Michigan-church)**
- **Held 2 NAC hosted meetings on April 7<sup>th</sup> and April 14<sup>th</sup>**
- **Created a community input survey distributed both electronically and directly to residents in the Impact Area**
  - **Electronic survey link: <https://forms.gle/D12Zr8VTGmvPRThn8>**
  - **Completed paper surveys can be dropped off at:**
    - **McShane's Pub – 1460 Michigan Ave, Detroit MI 48216**
    - **Batch Brewing Company –1400 Porter St, Detroit, MI 48216**
    - **Bobcat Bonnie's – 1800 Michigan Ave, Detroit, MI 48216**

# **NAC ENGAGEMENT AND MEETINGS**

**PROVIDE YOUR FEEDBACK – TAKE THE NAC COMMUNITY INPUT SURVEY – Deadline is April 19<sup>th</sup>, 2021**

**Survey Link: <https://forms.gle/D12Zr8VTGmvPRThn8>**

**Contact the NAC at: [MichiganChurchStNAC2021@gmail.com](mailto:MichiganChurchStNAC2021@gmail.com)**

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**NAC Member Meeting: Tuesday April 20<sup>th</sup>, 6:00pm**

**MEETING LINK: <https://us02web.zoom.us/j/85190932157>**

**DIAL IN: 1-312-626-6799**

**MEETING ID: 851 9093 2157**

# Corktown Sites 1 & 2

TIER 1 CBO MEETING  
April 15, 2021

THE FORBES COMPANY

  
Hunter Pasteur  
HOMES

Oxford  
Capital Group, LLC

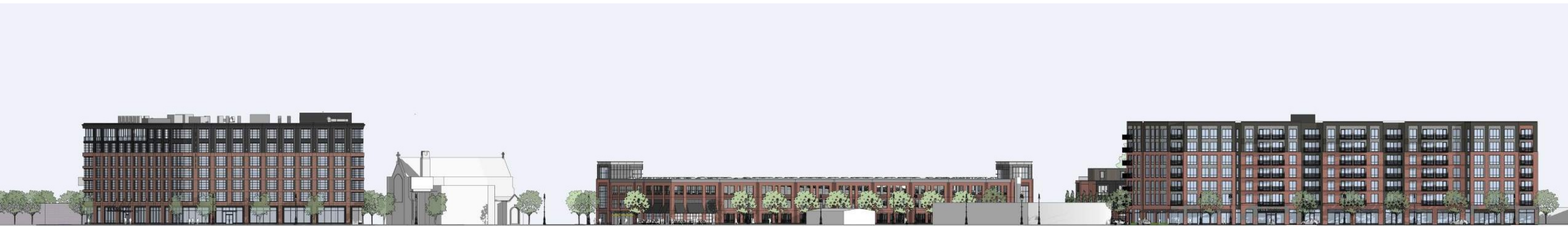
  
NEUMANN  
SMITH  
architecture

ELKUS | MANFREDI  
ARCHITECTS

giffels  
webster







**SITE 1 APARTMENTS: MICHIGAN AVE ELEVATION**

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2



CHURCH STREET

10TH STREET

7

4

6

1

2

8

5

1

BRICK

2

ACCENT BRICK

3

METAL #1  
MEDIUM GREY

4

METAL #2  
DARK GREY

5

STONE BASE

6

PRECAST  
CONCRETE

7

GLASS #2  
STOREFRONT

8

DECORATIVE  
METAL GRILL

## SITE 2 PARKING GARAGE: CHURCH STREET ELEVATION



CHURCH STREET

1

2

5

1

BRICK

5

STONE BASE

2

ACCENT BRICK

6

PRECAST  
CONCRETE

3

METAL #1  
MEDIUM GREY

7

GLASS #2  
STOREFRONT

4

METAL #2  
DARK GREY

8

DECORATIVE  
METAL GRILL

## SITE 2 PARKING GARAGE: TRUMBULL AVE ELEVATION

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2



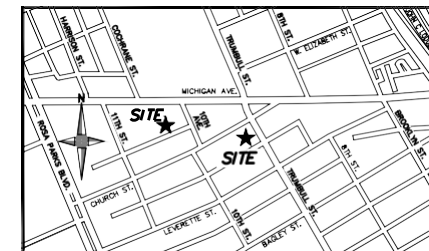


© ELKUS MANFREDI ARCHITECTS

**SITE 2 PARKING GARAGE: VIEW FROM MICHIGAN AVE**

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2

# ORIGINAL SCHEME - 409 SPACES, 3 STORIES, 34'-6" HEIGHT TO LEVEL 4



LOCATION MAP  
(NOT TO SCALE)



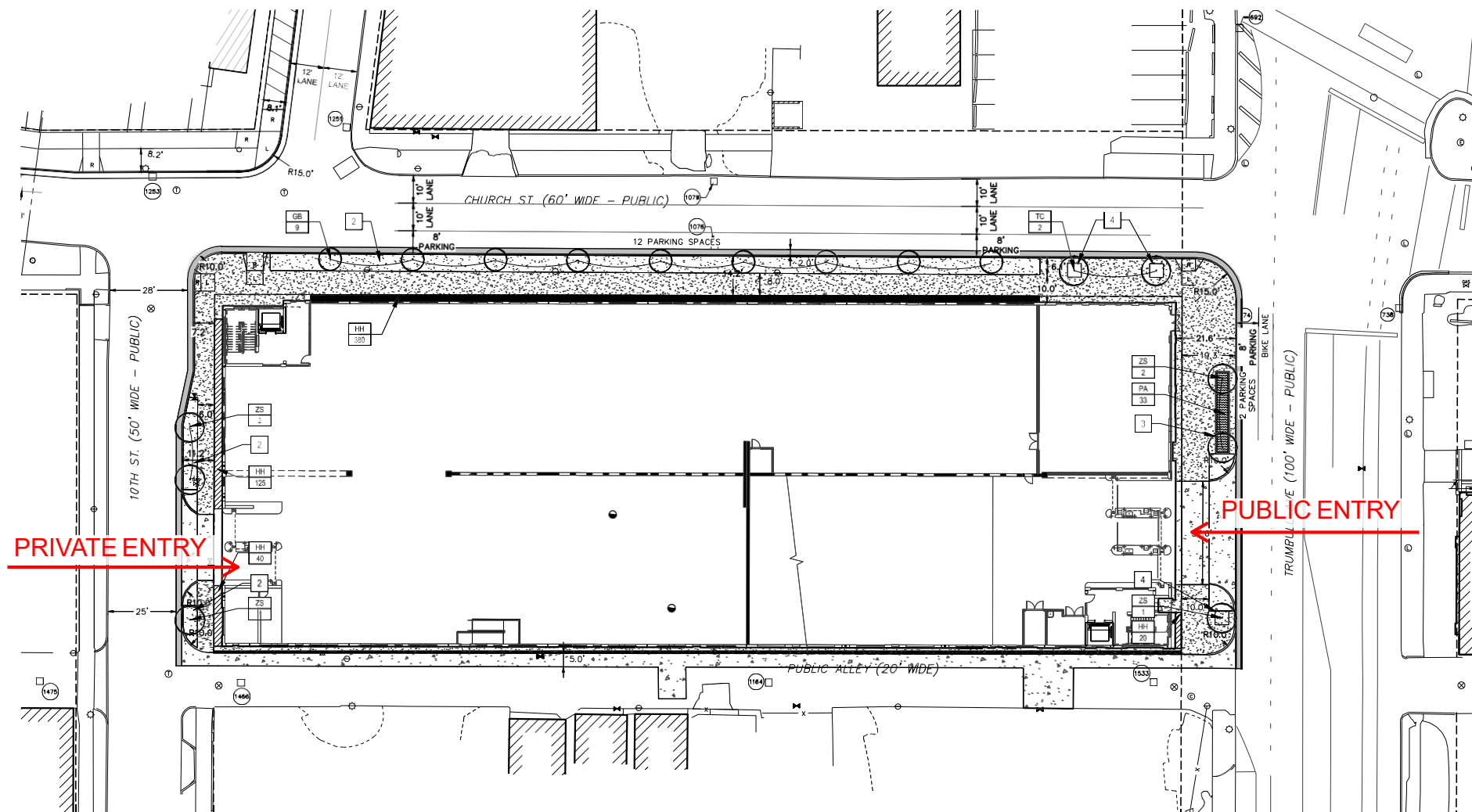
SOUTHFIELD • DETROIT  
400 Galleria Office Centre  
Suite 555  
Southfield, Michigan 48034  
phone 248.352.8310  
fax 248.352.1821  
www.neumannsmith.com



Engineers  
Surveyors  
Planners  
Landscape Architects  
28 West Adams Road  
Suite 1200  
Detroit, MI 48226  
p (313) 962-4442  
f (313) 962-5068  
www.giffelswebster.com

CORKTOWN  
PARKING DECK

1501 Church Street  
Detroit, Michigan



### LANDSCAPE PLAN - KEY NOTES

SOD LAWN

### LANDSCAPE PLAN - LEGEND

#	NOTE
1	EXISTING PROPERTY LINE, TYP.
2	SOD LAWN, TYP.
3	PLANTER CURB, SEE DETAIL L-600, TYP.
4	DECIDUOUS TREE IN TREE GRATE, SEE DETAIL L-600, TYP.

### GENERAL NOTES:

- All construction shall conform to the current standards and specifications of local ordinances.
- All areas not built, landscaped, or paved upon shall receive seasoned double shredded hardwood bark mulch.
- During installation and construction, the Contractor must provide a watering method for all plant material until it has become established.
- Two (2) year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit.
- A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
- The development of this site will not result in any increase in dust, odor, smoke, fumes, noise, lights, or other objectionable features.

### LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

It shall be the responsibility of the landscape contractor to provide water as required to ensure delivery of proper and adequate water supply to all plant material to ensure the establishment of healthy plant material for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

### PLANT NOTES:

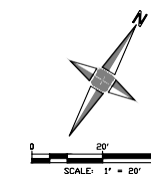
- Plant materials shall be sound, healthy, vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A3002004).
- Planting bed soil shall be an equal mix of screened organic topsoil, sphagnum peat moss, and clean sand. To deter weed growth during establishment, apply a pre-emergent ("Preen" or equal) after planting, 2-3 times per growing season, at the rate recommended by product manufacturer.
- Planting pockets shall be no deeper than twice the height of the root ball.
- All tree wrap shall be removed upon planting.
- Mulch shall be double shredded seasoned hardwood bark mulch. Contractor to submit sample for approval by landscape architect/engineer prior to placement.
- Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to expiration of the guarantee period.
- Remove the top 4" of burlap, twine and/or metal cage on root ball. If wrapped in plastic covering or nylon cording, all of these types of material should be removed.
- Plant material shall be used in compliance with provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the Standards of the American Association of Nurserymen, and shall pass inspections required under state regulations. In addition, plant materials shall be northern grown, No 1 Grade.
- Plant material shall be planted within the annual planting window of March 15 through November 15.
- All plant ID tags are to remain until all plants are accepted on site.
- Any plant substitutions must be submitted in writing and approved by the landscape architect prior to installation.
- Grass seed shall be certified turf grass seed complying with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn. Areas scheduled for lawn seed shall receive a minimum of 3" of screen topsoil at 3" depth unless otherwise noted on plans.

### LAWN SEED MIX:

- 30% Perennial Ryegrass
- 20% Park Kentucky Bluegrass
- 45% Creeping Red Fescue
- 5% Annual Ryegrass
- 4 lb./1000 sq. Seeding Rate

### PLANT LEGEND

SYMBOL	TYPE	ABBR	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
○	DECIDUOUS TREES	GB	9	Ginkgo biloba 'Princeton Sentry'	PRINCETON SENTRY GINKGO	3" cal.	B&B.
○	DECIDUOUS TREES	TC	2	Tilia cordata 'Greenspire'	GREENSPIRE LINDEN	3" cal.	B&B.
○	DECIDUOUS TREES	ZS	8	Zelkova serrata 'Green Vase'	GREEN VASE ZELKOVA	3" cal.	B&B.
▨	ORNAMENTAL GRASSES	PA	33	Pennisetum alopecuroides Hameln	DWARF FOUNTAIN GRASS	#3 cont.	Plant 24 in O.C., Staggered Rows
▨	CLIMBING VINES	HI	565	Hedera helix	ENGLISH IVY	#1 cont.	Plant 15 in O.C.



10/12/2017 Design Development  
01/14/2021 Schematic Design

Drawn:  Preliminary  
SP Checked:  Construction  
 Record  
IT Approved:  Do not scale  
MM: Use figured dimensions only

Job Number:  
**2020009**  
Title:

**LANDSCAPE PLAN**

Sheet:  
**L-100**



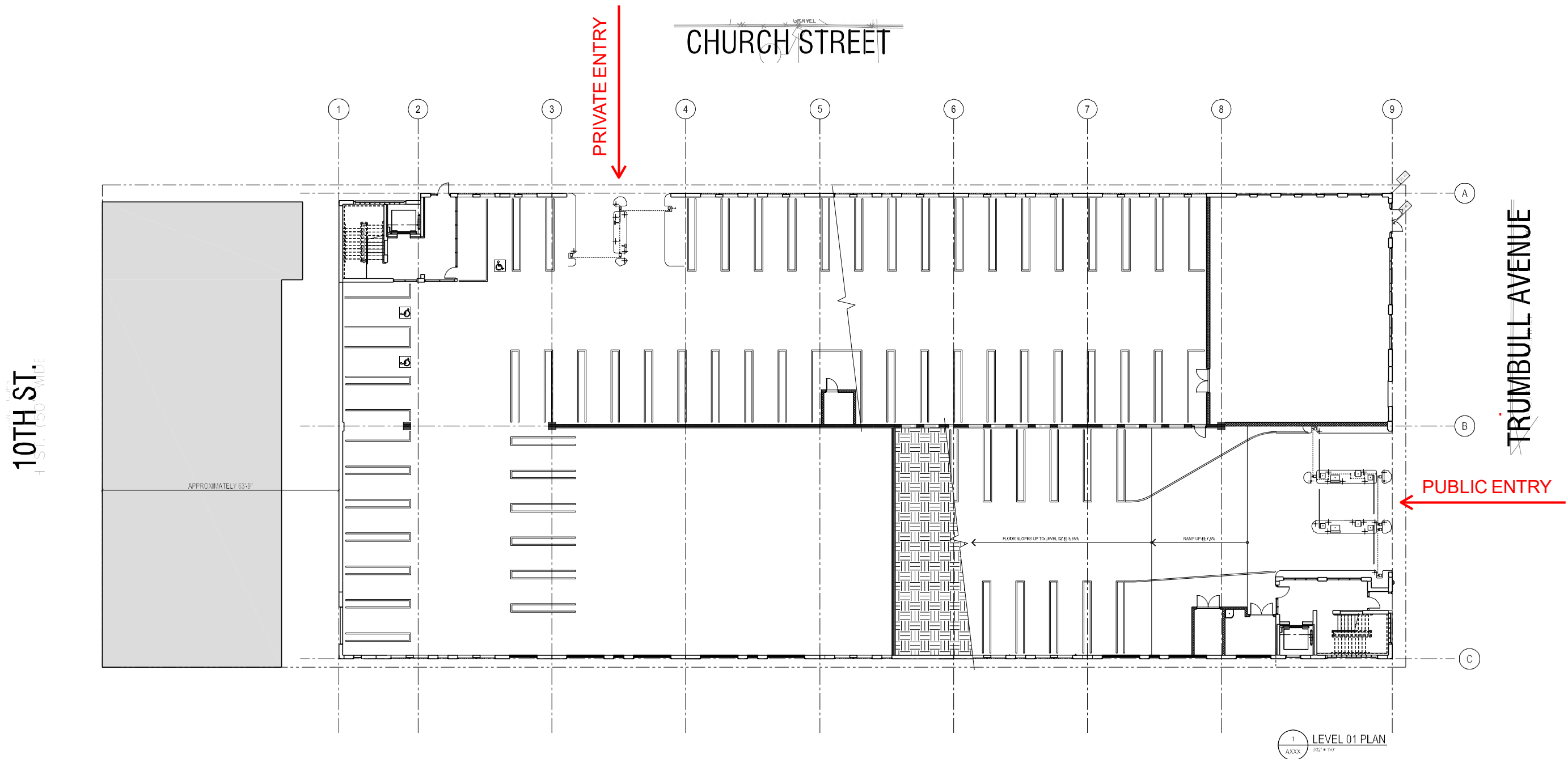
INWATOWN  
SELF-STORAGE  
MOVES - WAREHOUSES  
CALL FOR RENTALS

Church

**OPTION 1 - 332 SPACES,  
3 STORIES, 34'-6" HEIGHT TO LEVEL 4  
(KEEP BUILDING 1 AND 2 OF EXISTING  
STRUCTURE)**

CAR COUNT SUMMARY					
LEVELS	STANDARD STALLS	ACCESSIBLE STALLS	COMPACT STALLS	RESIDENTIAL STALLS	TOTAL
01	10	3*	0	47	60
02	55	3	0	0	58
03	109	5	0	0	114
04	100	0	0	0	100
TOTALS	274	11	0	47	332

\* LOCATED IN RESIDENTIAL SPACES





PARKING ALLOWED  
8:00 AM - 6:00 PM





towne club

GRANGE  
Crush

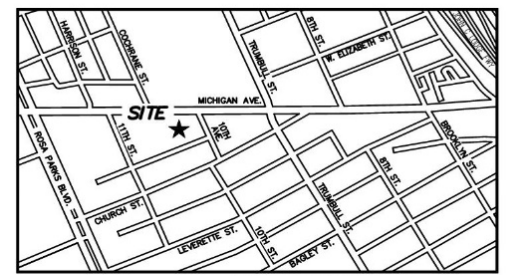
PARKING  
ALLOWED

**Base  
Option**

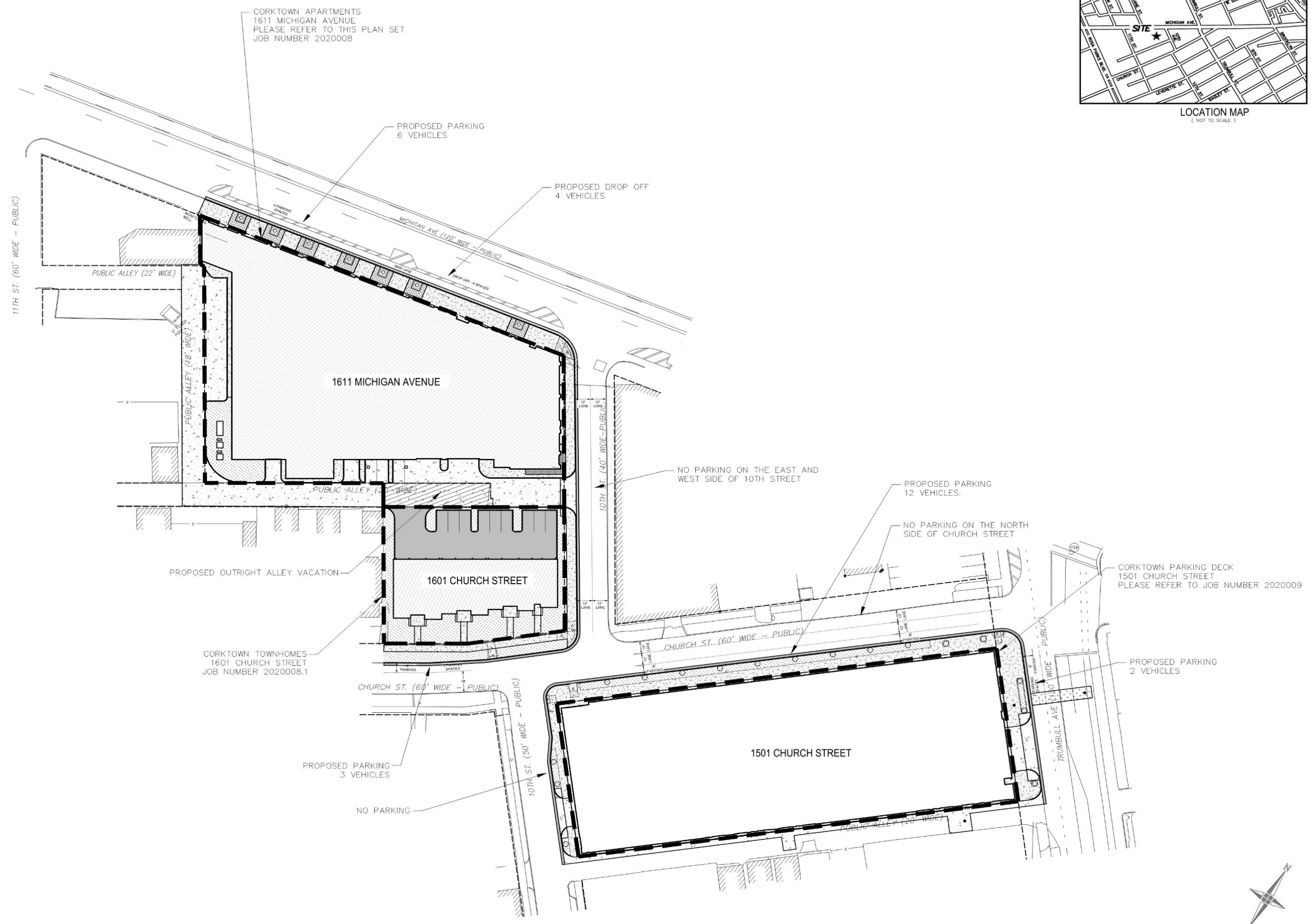
**475 Spaces total - 409 Space on Site 2, 26 on Site 1 and 40 leased spaces from St. Peter's Episcopal Church (Removing entire existing building)**

**Option 1**

**398 Spaces total - 332 Spaces on Site 2, 26 on Site 1 and 40 leased spaces from St. Peter's Episcopal Church (Keep portion of existing building, original 2 portions)**



LOCATION MAP  
( NOT TO SCALE )



CORKTOWN APARTMENTS  
1611 MICHIGAN AVENUE  
PLEASE REFER TO THIS PLAN SET  
JOB NUMBER 2020008

PROPOSED PARKING  
6 VEHICLES

PROPOSED DROP OFF  
4 VEHICLES

1611 MICHIGAN AVENUE

1601 CHURCH STREET

1501 CHURCH STREET

CORKTOWN PARKING DECK  
1501 CHURCH STREET  
PLEASE REFER TO JOB NUMBER 2020009

CORKTOWN TOWNHOMES  
1601 CHURCH STREET  
JOB NUMBER 2020008.1

11TH ST. (60' WIDE - PUBLIC)

PUBLIC ALLEY (22' WIDE)

PUBLIC ALLEY (18' WIDE)

PUBLIC ALLEY (20' WIDE)

PROPOSED OUTRIGHT ALLEY VACATION

PROPOSED PARKING  
3 VEHICLES

NO PARKING

CHURCH ST. (60' WIDE - PUBLIC)

10TH ST. (50' WIDE - PUBLIC)

10TH ST. (40' WIDE - PUBLIC)

NO PARKING ON THE EAST AND  
WEST SIDE OF 10TH STREET

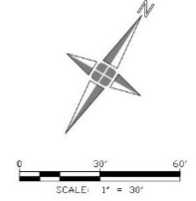
CHURCH ST. (60' WIDE - PUBLIC)

PROPOSED PARKING  
12 VEHICLES.

NO PARKING ON THE NORTH  
SIDE OF CHURCH STREET

TRUMBULL AVE (110' WIDE - PUBLIC)

PROPOSED PARKING  
2 VEHICLES





PROPOSED TREES WITH TREE GRATES

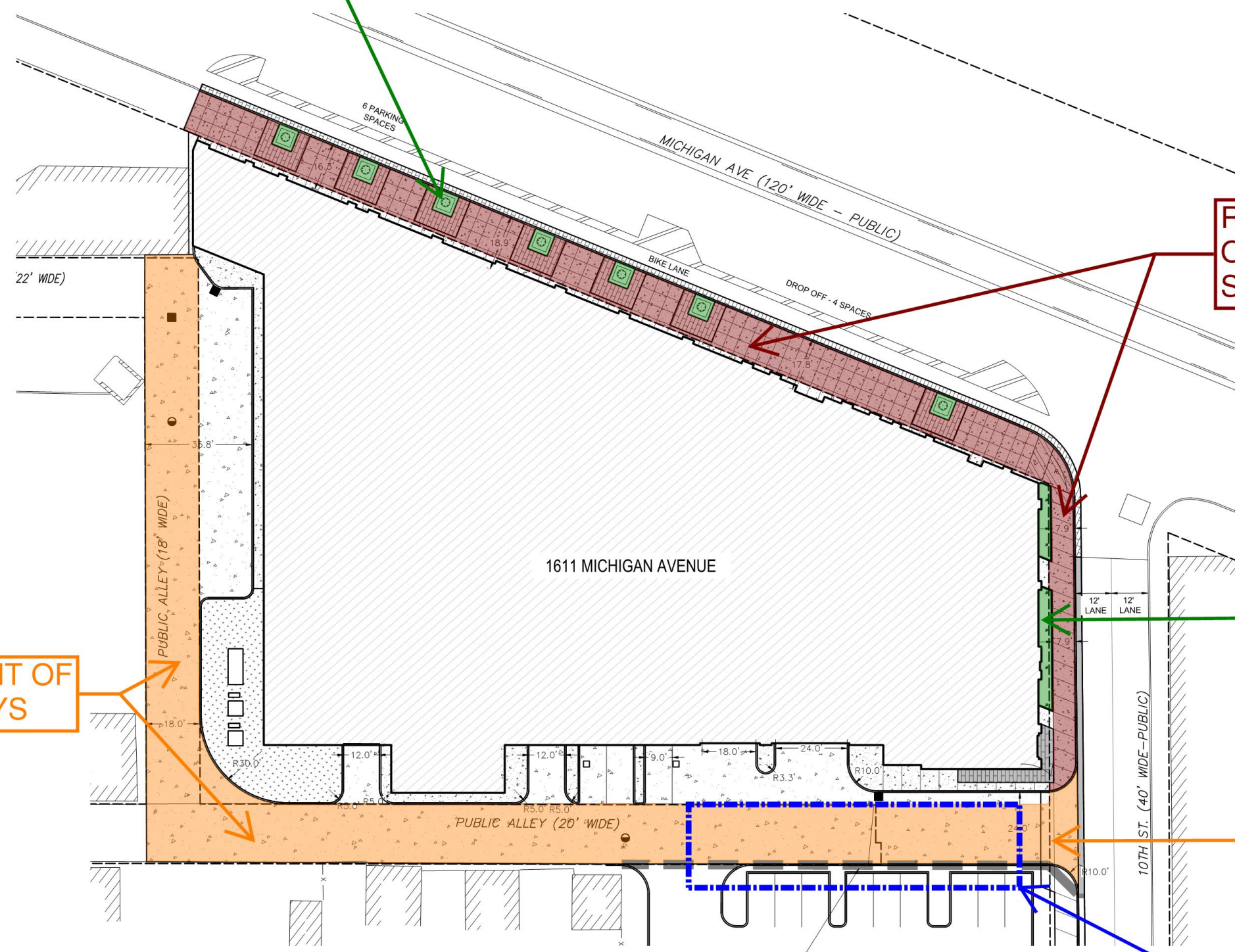
REPLACEMENT OF CURBS AND SIDEWALKS

PROPOSED LANDSCAPED BEDS WITH PEDESTRIAN LEVEL LIGHTED BOLLARDS

REPLACEMENT OF PUBLIC ALLEYS

EXTEND CURRENT DEAD END ALLEY TO CONTACT 10TH ST. PROVIDING PUBLIC ACCESS

UNDERGROUND STORM WATER DETENTION



PAVING PLAN - LEGEND

- 4" CONCRETE SIDEWALK PAVEMENT
- 6" CONCRETE SIDEWALK PAVEMENT
- 8" CONCRETE PAVEMENT
- PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
- ASPHALT PAVEMENT
- LANDSCAPING, SEE SHEET L-100 FOR PLANTING LOCATIONS AND SPECIES
- BRICK PAVERS PER MDOT STANDARDS AND SPECIFICATIONS

PROJECT PHASE LINE, SEE SHEET C-510 FOR CORKTOWN TOWNHOMES GEOMETRIC AND PAVING PLAN

PROPOSED LANDSCAPED AREAS WITH TREES

EXTEND CURRENT DEAD END ALLEY TO CONTACT 10TH ST. PROVIDING PUBLIC ACCESS

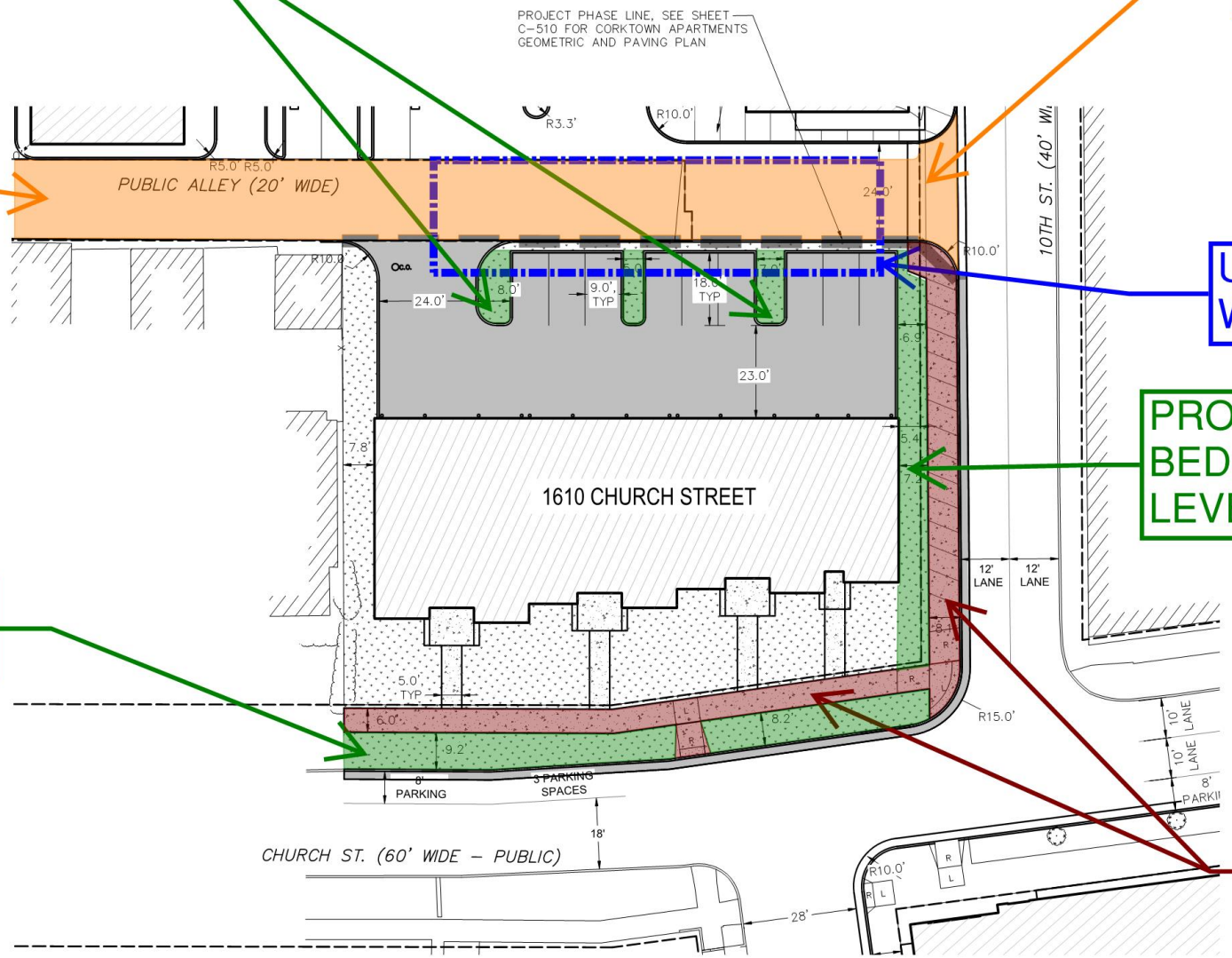
REPLACEMENT OF PUBLIC ALLEY

UNDERGROUND STORM WATER DETENTION

PROPOSED LANDSCAPED BEDS WITH PEDESTRIAN LEVEL LIGHTED BOLLARDS

PROPOSED LANDSCAPED AREA WITH STREET TREES

REPLACEMENT OF CURBS AND SIDEWALKS



PAVING PLAN - LEGEND

- 4" CONCRETE SIDEWALK PAVEMENT
- 6" CONCRETE SIDEWALK PAVEMENT
- 8" CONCRETE PAVEMENT
- PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
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1 PAVING PLAN  
C-510 1" = 20'

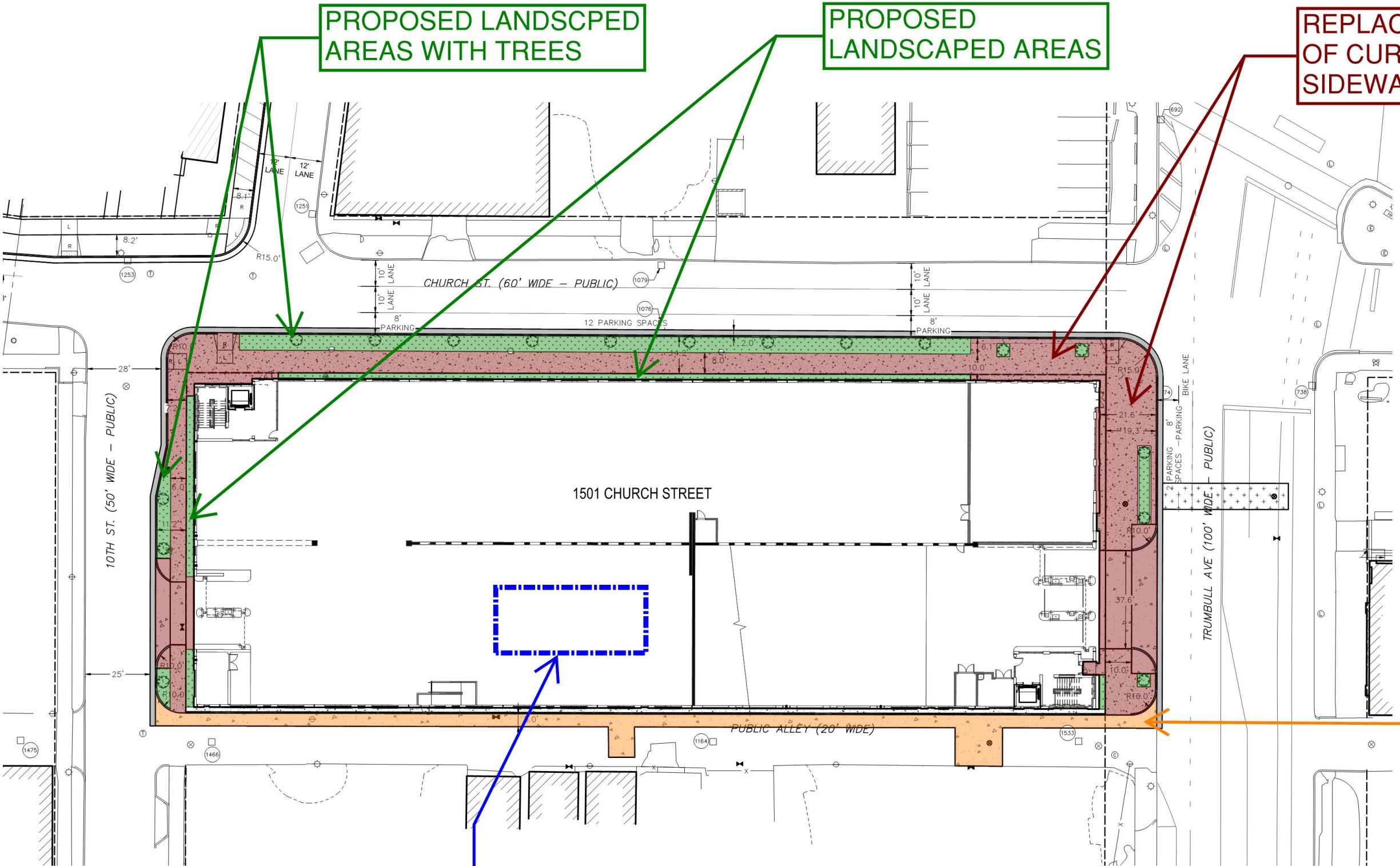
PROPOSED LANDSCAPED AREAS WITH TREES

PROPOSED LANDSCAPED AREAS

REPLACEMENT OF CURBS AND SIDEWALKS

PAVING PLAN - LEGEND

- 4" CONCRETE SIDEWALK PAVEMENT
- 6" CONCRETE SIDEWALK PAVEMENT
- 8" CONCRETE PAVEMENT
- BRICK PAVERS
- PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
- ASPHALT PAVEMENT
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UNDERGROUND STORM WATER DETENTION

1 PAVING PLAN  
C-500 1" = 20'

REPLACEMENT OF PUBLIC ALLEY



**SITE 1 APARTMENTS: 10<sup>TH</sup> STREET ELEVATION**



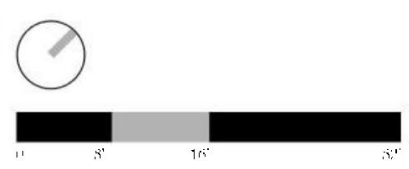
© ELKUS MANFREDI ARCHITECTS

## SITE 1 TOWNHOMES: VIEW FROM GARAGE

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2



- 1.
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.
- 11.
- 12.
- 13.
- 14.



**SITE 1 TOWNHOMES: LANDSCAPE PLAN**

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2



© ELKUS MANFREDI ARCHITECTS

## SITE 1 TOWNHOMES: VIEW FROM CHURCH STREET

CORKTOWN › DETROIT, MICHIGAN › SITES 1&2

# Program Summary & FAQ

## Site 1 Apartments

- 1611 Michigan Avenue
- 188 Apartment Units
- 490 sf – 1,188 sf Unit Sizes
  - 34% Studio
  - 50% One Bedroom
  - 16% Two Bedroom
- 30 Parking Spaces
- 7- Stories/ 82'-6" High
- 9,385 sf Retail

## Site 1 Townhomes

- 7 Townhomes
- 2&3 Bedrooms
- 2,415 sf – 2,942 sf
- 43'-6" Rear Setback
- 20' Front Setback
- 3 stories/35' high
- 7 Private Indoor Parking Spaces
- 9 Outdoor Parking spaces

## Site 2 Parking Garage

- 1501 Church St
- 35' High
- 3,000 SF of Retail
- 401 Garage Spaces
- 2 Elevator Cores and Stair Wells





# Neighborhood Advisory Council Q & A



DEPARTMENT OF  
Planning &  
Development

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CBO Meeting #4 – April 15, 2021

# General Q & A



DEPARTMENT OF  
**Planning &  
Development**

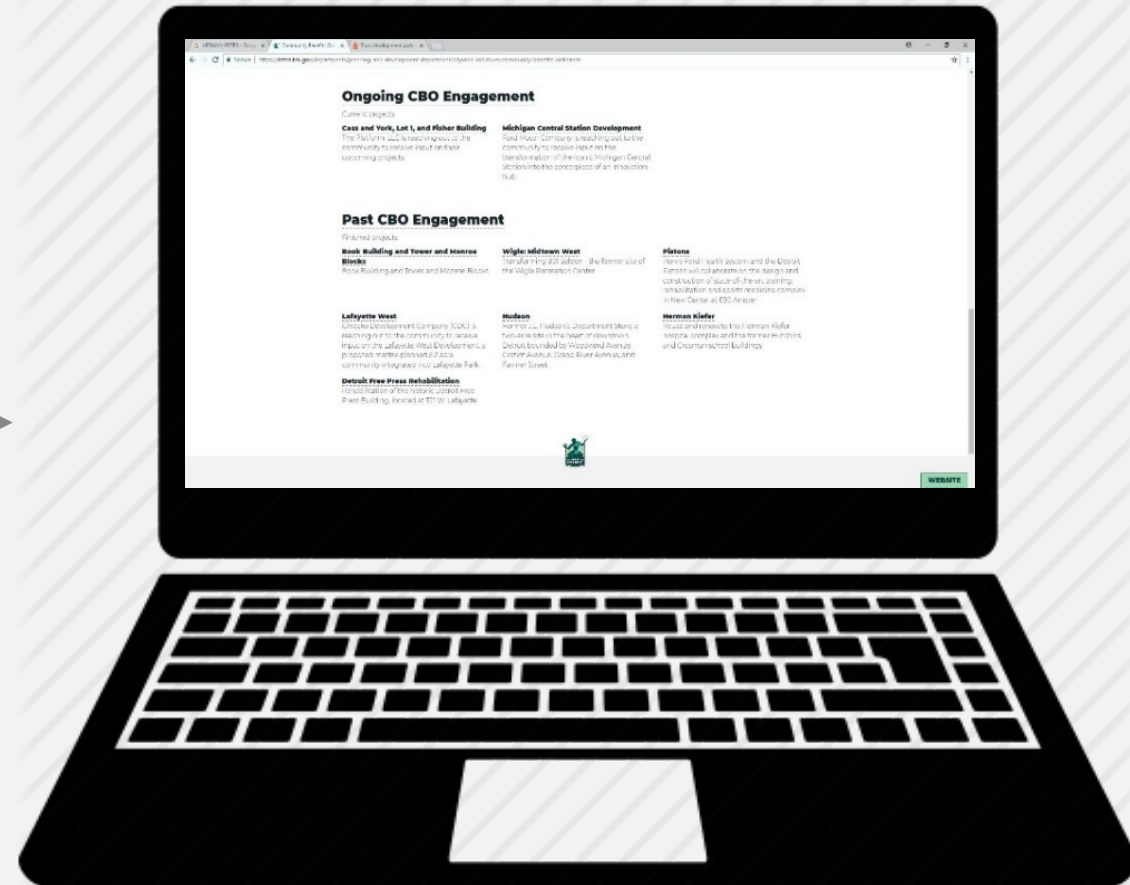
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**DIAL IN: 1-312-626-6799**

**MEETING ID: 851 9093 2157**

# **NEXT CBO MEETING**

**MEETING 5: THURSDAY April 29<sup>th</sup>, 6:00pm – 8:00pm**

**AGENDA: NAC Presents Impacts and Requests to Developer**

**MEETING REGISTRATION: <https://bit.ly/Michigan-ChurchCBO>**

**DIAL IN: 1-312-626-6799**

**MEETING ID: 853 3838 3620**

**MEETING LINK AND DIAL IN INFORMATION ARE THE SAME FOR ALL MEETINGS – IF YOU REGISTERED FOR TONIGHT, YOU HAVE THE LINK**

# COVID-19 VACCINE INFORMATION

## Moderna/Pfizer Vaccines at All City Locations

TCF Center / M-F 9 a.m.-6 p.m.

Northwest Activities Center / M-F 9 a.m.-1 p.m.

Let's Get Vaccinated Detroit!

## COVID-19 VACCINES IN YOUR NEIGHBORHOOD.

The school sites for week of April 19 are listed. The clinics will run from 9am to 5pm.

**MONDAY, APRIL 19**  
**Henry Ford High School**  
20000 Evergreen, Detroit 48219

**MONDAY, APRIL 19**  
**Western High**  
1500 Scotten Avenue, Detroit 48209

**WEDNESDAY, APRIL 21**  
**Brenda Scott Academy**  
18440 Hoover St., Detroit, 48205

**FRIDAY, APRIL 23**  
**East English**  
5020 Cadieux, Detroit, 48224

## Community Saturdays

9 a.m. - 1 p.m.

Fellowship Chapel  
7707 W. Outer Drive

Second Ebenezer  
14601 Dequindre Road

Greater Grace Temple  
23500 W. Seven Mile Road



Find the 3 closest  
COVID-19 vaccine  
locations

Text your  
address to

**(313) 217-3732**



**We Need  
Your Help!**

**128,000**

Detroiters have  
been vaccinated in  
three months

If you've gotten  
your vaccine, share  
your story with  
your friends and  
neighbors.

CALL **(313) 230-0505**

FOR APPOINTMENT

**VACCINE QUESTIONS?**  
Call DHD at **313-876-4000**

# THANK YOU!



DEPARTMENT OF  
**Planning &  
Development**

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## CBO Meeting #4 – April 15, 2021